QUIETLIST

GODREJ ARISTOCRAT

A buyer's reading of the sanctioned drawings this project's promoter filed with the authority, and of its registration record.

REGISTERED AS	RERA-GRG-1480-2023
REGISTERED BY	Godrej Properties
WHERE	Sector 49, Gurugram, Haryana
READ ON	23 August 2026

WHAT TO ASK FOR

Show me a flat in T5 or T6, on the side facing the podium, on the third floor or higher. Not the 17th floor and not the 26th floor.

for you if you want the tallest towers and can pay more for a higher floor

In T1, I want the line of flats that sit one above the other on the side the plan marks GREEN SIDE. Show me that flat on the floor plan for a normal floor. Give me the 16th floor or the 18th, or the 25th or the 27th.

I want the cheapest flat I can buy in this project. Show me the second floor in T5 or T6 instead. Tell me which side that flat faces.

for you if the price decides everything, and you are choosing between the lowest floors they are selling

I am buying this flat to rent out, or to sell after a few years. Show me the 3BHK on a normal floor in T3 or T4, above the second floor. Tell me which side of the tower that flat sits on.

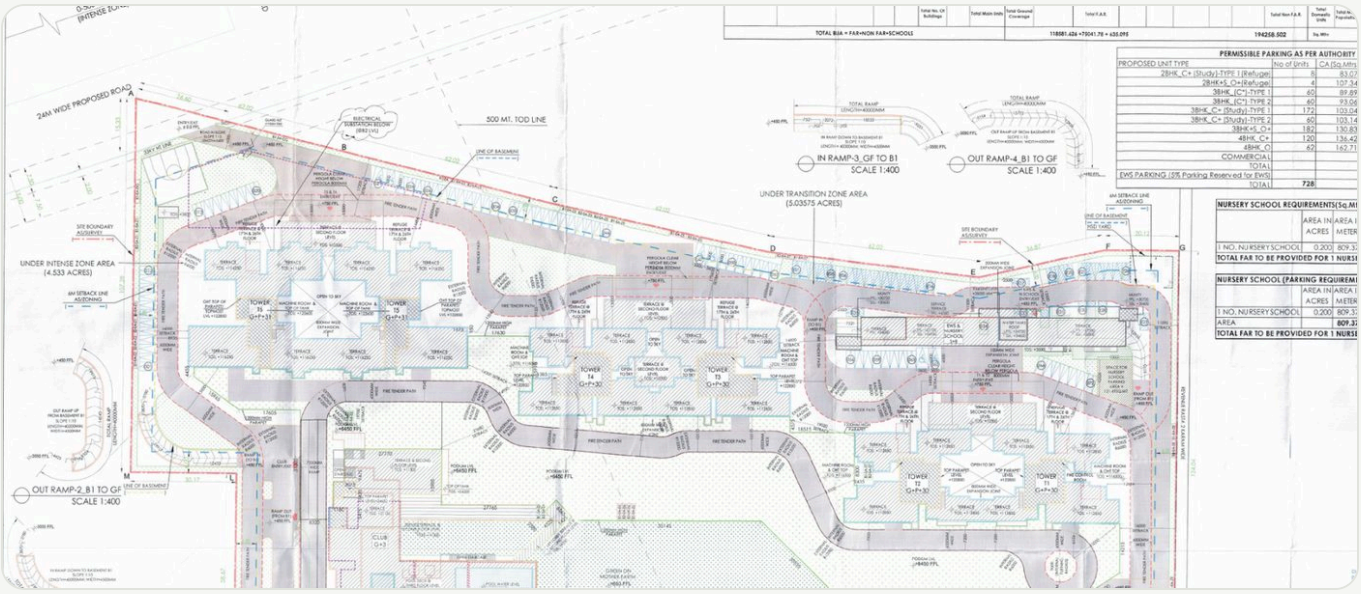
for you if you are buying this to earn money and not as the home you will live in, and how easily you can sell it later matters more to you than the view

THE PROJECT ON RECORD

What this project really is

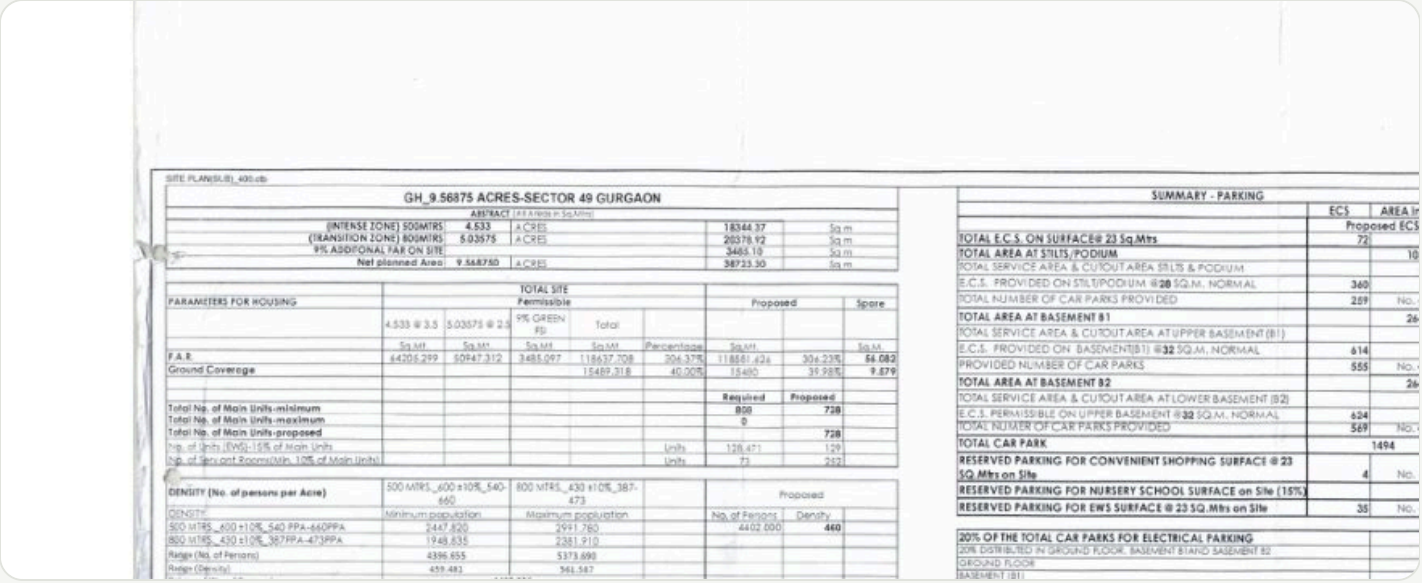
Godrej Aristocrat, Sector 49, Gurugram. The approved site plan calls it GH-9. The list of areas on that same drawing puts it at 9.56875 acres. The plan cuts the land into two zones. One part of about four and a half acres is in what the plan calls the intense zone. The other part of about five acres is in what it calls the transition zone. It is a group housing project. There are six towers of flats. There is also a club building of four floors with a swimming pool.

The approved site plan draws all six towers and gives each one a name. T1, T2, T3 and T4 are G+P+30. T5 and T6 are G+P+33. G+P+30 means a ground floor, then a podium level, then 30 floors above that. All of this is on one drawing sheet. Its number is AR-MP-101. Its date is 18.07.2023.



The drawing shows six residential towers marked T1 through T6, with T1-T4 shown as G+P+30 and T5-T6 shown as G+P+33.

From the sanctioned sheet titled “IN CASE OF GROUP HOUSING/ COMMERCIAL SITES, A COPY OF THE APPROVED SITE PLAN”, copied here exactly as the sheet prints it.



GH_9.56875 ACRES-SECTOR 49 GURGAON

ABSTRACT				
(INTENSE ZONE) 500MTRS	4.533	A CRES	18344.37	Sq m
(TRANSITION ZONE) 800MTRS	5.03575	A CRES	20378.92	Sq m
9% ADDITONAL FAR ON SITE			3465.10	Sq m
Net planned Area	9.568750	A CRES	38723.30	Sq m

PARAMETERS FOR HOUSING	TOTAL SITE Permissible					Proposed		Spare
	4.533 @ 3.5	5.03575 @ 2.5	9% GREEN FSI	Total				
	Sq.Mt	Sq.Mt	Sq.Mt	Sq.Mt	Percentage	Sq.Mt		Sq.Mt
F.A.R.	64205.299	50947.312	3485.097	118637.708	306.37%	118681.426	306.23%	56.082
Ground Coverage				15489.318	40.00%	15490	39.98%	9.679
						Required	Proposed	
Total No. of Main Units-minimum						800	728	
Total No. of Main Units-maximum						0		
Total No. of Main Units-proposed							728	
No. of Units (EWS)-15% of Main Units					Units	128.471	129	
No. of Servant Rooms(Min. 10% of Main Units)					Units	73	252	

DENSITY (No. of persons per Acre)	500 MTRS_600 ±10%_540-660	800 MTRS_430 ±10%_387-473	Proposed	
DENSITY	Minimum population	Maximum population	No. of Persons	Density
500 MTRS_600 ±10%_540 PPA-660PPA	2447.820	2991.760	4402.000	460
800 MTRS_430 ±10%_387PPA-473PPA	1948.835	2381.910		
Range (No. of Persons)	4396.655	5373.690		
Range (Density)	459.483	561.587		

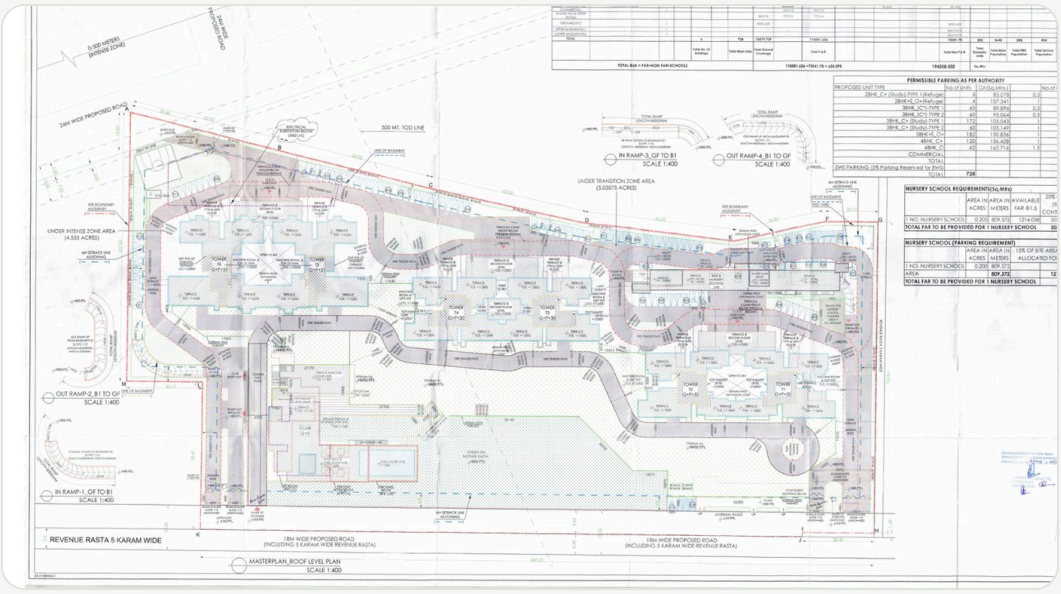
SUMMARY - PARKING

	ECS	AREA in
	Proposed ECS	
TOTAL E.C.S. ON SURFACE@ 23 Sq.Mtrs	72	
TOTAL AREA AT STILTS/PODIUM		10
TOTAL SERVICE AREA & CUTOUT AREA STILTS & PODIUM		
E.C.S. PROVIDED ON STILT/PODIUM @20 SQ.M. NORMAL	340	
TOTAL NUMBER OF CAR PARKS PROVIDED	259	No.
TOTAL AREA AT BASEMENT B1		26
TOTAL SERVICE AREA & CUTOUT AREA AT UPPER BASEMENT (B1)		
E.C.S. PROVIDED ON BASEMENT(B1) @32 SQ.M. NORMAL	614	
PROVIDED NUMBER OF CAR PARKS	555	No.
TOTAL AREA AT BASEMENT B2		26
TOTAL SERVICE AREA & CUTOUT AREA AT LOWER BASEMENT (B2)		
E.C.S. PERMISSIBLE ON UPPER BASEMENT @32 SQ.M. NORMAL	624	
TOTAL NUMBER OF CAR PARKS PROVIDED	569	No.
TOTAL CAR PARK	1494	
RESERVED PARKING FOR CONVENIENT SHOPPING SURFACE @ 23 SQ.Mtrs on Site	4	No.
RESERVED PARKING FOR NURSERY SCHOOL SURFACE on Site (15%)		
RESERVED PARKING FOR EWS SURFACE @ 23 SQ.Mtrs on Site	35	No.

20% OF THE TOTAL CAR PARKS FOR ELECTRICAL PARKING
20% DISTRIBUTED IN GROUND FLOOR, BASEMENT B1 AND BASEMENT B2
GROUND FLOOR
BASEMENT (B1)

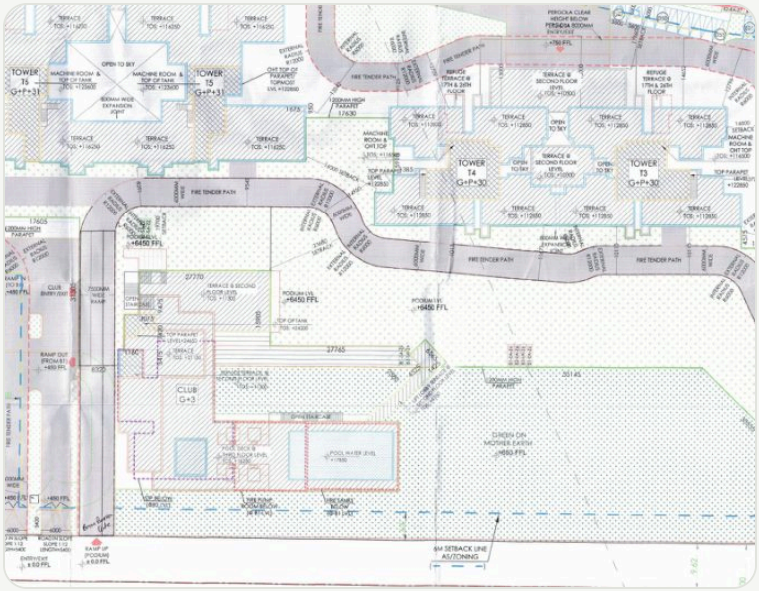
The site-plan schedule identifies the housing site as GH-9, 9.56875 acres in Sector 49 Gurgaon, split between an intense-zone area and a transition-zone area.

From the sanctioned sheet titled “IN CASE OF GROUP HOUSING/ COMMERCIAL SITES, A COPY OF THE APPROVED SITE PLAN”, copied here exactly as the sheet prints it.



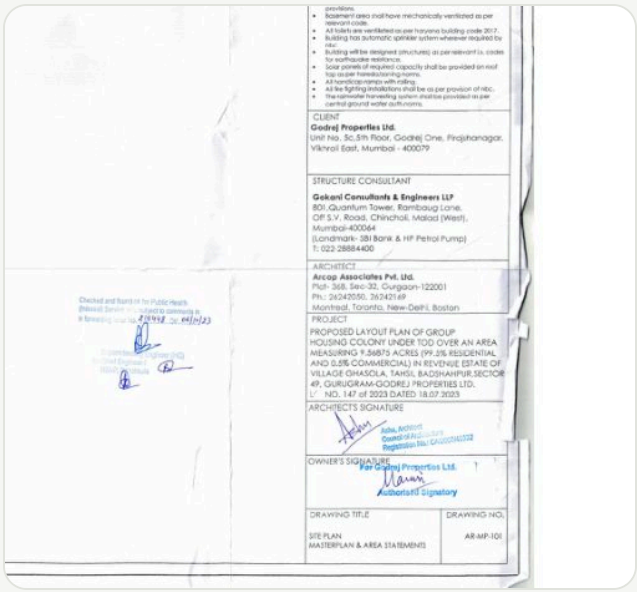
The drawing marks a 6 m setback/as-zoning line around the site boundary, with adjoining roads shown as 24 m wide proposed road on the upper-left/north-west side and 18 m wide proposed road along the bottom/south side.

From the sanctioned sheet titled “IN CASE OF GROUP HOUSING/ COMMERCIAL SITES, A COPY OF THE APPROVED SITE PLAN”, copied here exactly as the sheet prints it.



The plan places the club in the lower-left/south-west internal open area, separate from the residential tower row.

From the sanctioned sheet titled “IN CASE OF GROUP HOUSING/ COMMERCIAL SITES, A COPY OF THE APPROVED SITE PLAN”, copied here exactly as the sheet prints it.



provisions.
- Basement area shall have mechanically ventilated as per relevant code.
- All toilets are ventilated as per haryana building code 2017.
- Building has automatic sprinkler system wherever required by nbc.
- Building will be designed structure(s) as per relevant i.s. codes for earthquake resistance.
- Solar panels of required capacity shall be provided on roof top as per haredo/ianing norms.
- All handicap ramps with railing.
- All fire fighting installations shall be as per provision of nbc.
- The rainwater harvesting system shall be provided as per central ground water auth.norms.

CLIENT
Godrej Properties Ltd.
Unit No. 5c, 5th Floor, Godrej One, Pirojshanagar, Vikhroli East, Mumbai - 400079

STRUCTURE CONSULTANT
Gokani Consultants & Engineers LLP
801, Quantum Tower, Rambaug Lane, Off S.V. Road, Chincholi, Malad (West), Mumbai-400064
(Landmark- SBI Bank & HP Petrol Pump)
T: 022-28884400

ARCHITECT
Arcop Associates Pvt. Ltd.
Plot- 368, Sec-32, Gurgaon-122001
Ph.: 26242050, 26242149
Montreal, Toronto, New-Delhi, Boston

PROJECT
PROPOSED LAYOUT PLAN OF GROUP HOUSING COLONY UNDER TOD OVER AN AREA MEASURING 9.56875 ACRES (99.5% RESIDENTIAL AND 0.5% COMMERCIAL) IN REVENUE ESTATE OF VILLAGE GHASOLA, TAHSIL BADSHAHPUR,SECTOR 49, GURUGRAM-GODREJ PROPERTIES LTD.
L' NO. 147 of 2023 DATED 18.07.2023

ARCHITECTS SIGNATURE
Adita Architect
Council of Architecture
Registration No.: CA/2000/40332

OWNER'S SIGNATURE
For Godrej Properties Ltd.
Authorised Signatory

DRAWING TITLE	DRAWING NO.
SITE PLAN MASTERPLAN & AREA STATEMENTS	AR-MP-101

The title block carries drawing number AR-MP-101 and revision/date text, with the visible project date line reading “DATED 18.07.2023”; separate approval/signature marks are present but their exact sanction wording is not fully legible in the supplied image.

From the sanctioned sheet titled “IN CASE OF GROUP HOUSING/ COMMERCIAL SITES, A COPY OF THE APPROVED SITE PLAN”, copied here exactly as the sheet prints it.

WHAT TO CHOOSE

If you can pay for a higher floor, buy in T5 or T6, on the podium side

This is what the drawings support best. It is also what I would tell a friend to do.

T5 and T6 are the two tallest towers here. The approved site plan draws them as G+P+33. It draws T1 to T4 as G+P+30. Height is the thing you are really paying for here. The reason is what sits below every flat in this project. The drawing called Site Section AA lists the levels from the bottom going up: Basement 2, Basement 1, lower ground, stilt/parking, podium — and only after all of that come the 1st, 2nd and 3rd floors and everything above.

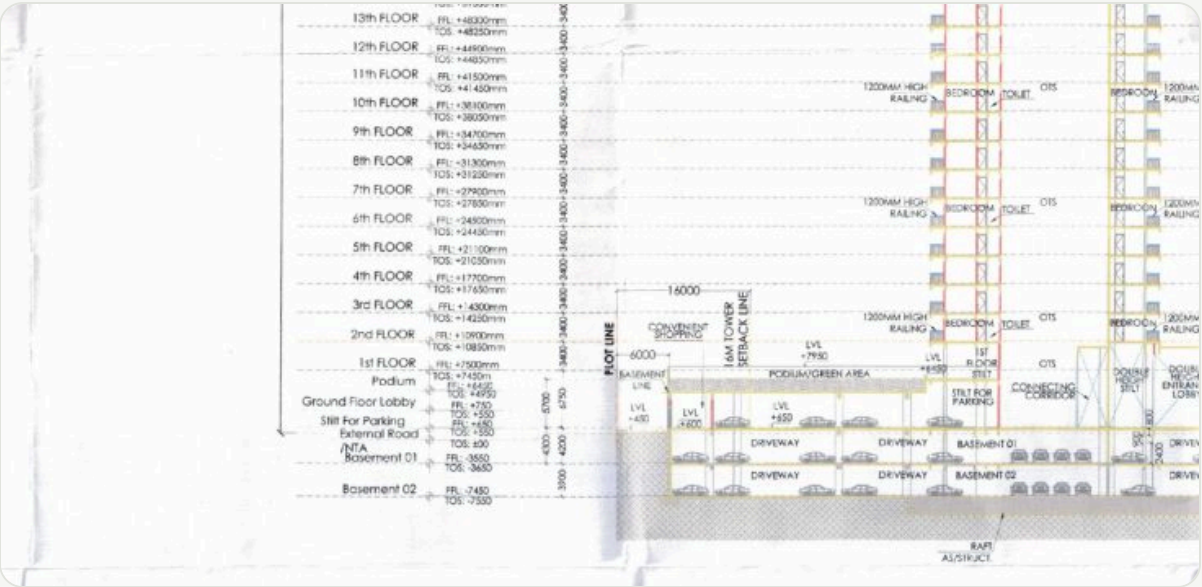
Now the side. Ask for the podium side. Those words are printed on the approved floor plan. They are not a sales line. So you can make the seller stick to them.

One rule about floors, and it is the only one you need to remember. In T5 and T6 the list of levels on the drawing prints REFUGE-01 FLOOR LEVEL 61900 and REFUGE-02 FLOOR LEVEL 92500. Those are exactly where the 17th floor and the 26th floor sit. So leave the 17th and the 26th alone. Take the floor just below or just above instead. That means the 16th or the 18th, and the 25th or the 27th. If the 17th or the 26th is the only flat they have, do not pay the same rate for it as for a normal floor in the same tower. Never the same price.

What you lose if you choose something else. The cheapest way into this project is a low floor. There is a sensible way to do that, and it comes further down in this report. But you save on the price and you lose the open view. Buy the height if the view and the quiet are what you want to own.

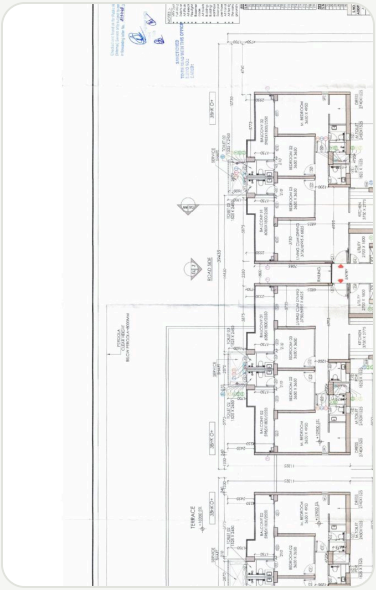
The first podium plan shows the fire-tender path immediately along multiple tower-side podium edges.

From the sanctioned sheet titled “1ST PODIUM PLAN & RAMP SECTION”, copied here exactly as the sheet prints it.



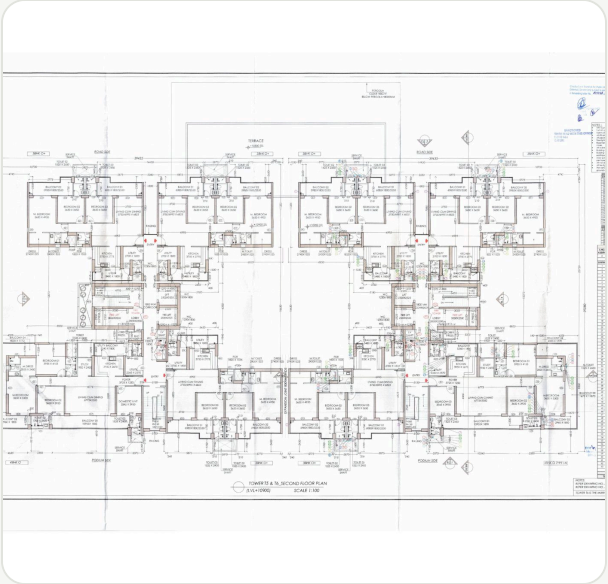
The section level stack marks two basement levels below the base, then lower/ground/stilt/podium levels before the first repeated residential floor labels.

From the sanctioned sheet titled “SITE SECTION AA”, copied here exactly as the sheet prints it.



The second-floor plan includes 3BHK O+ units with three bedrooms, living-cum-dining, kitchen, utility, toilets, dress areas and balconies on the road-side/terrace-side edge.

From the sanctioned sheet titled “SECOND FLOOR PLAN TOWER T5 & T6”, copied here exactly as the sheet prints it.



The sheet visibly names road side and podium side as exterior conditions; it does not visibly label a club roof, service yard, driveway, or another tower wall as the outlook for these specific second-floor units.

From the sanctioned sheet titled “SECOND FLOOR PLAN TOWER T5 & T6”, copied here exactly as the sheet prints it.

The cheapest way to buy here — and the one cheap floor to say no to

A low floor is the cheapest way into any tower here. One of these low floors is a genuinely fair buy. Another one is not. The drawings show you the difference.

Say no to the first floor of T1 or T2. The first floor drawing for these two towers shows ROOM FOR PARKING, ROOM FOR DG SET and ROOM FOR LT PANEL. DG means a diesel generator. LT means low tension, the name used for the lower-voltage side of the electricity supply. The same drawing also shows an entrance lobby as tall as two floors, next to the lifts and stairs. So the approved plan puts the fixed generator machines and the low tension electrical panel room on the first floor of T1 and T2.

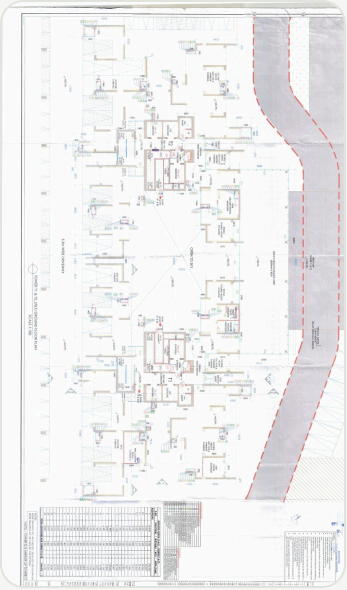
The floor drawing they show you at the sales office may not be the layout of the floor you are buying. In T1 and T2 the approved papers prove this at the bottom of the tower. Whatever floor you agree to buy, ask for the drawing of that exact floor number. Do not accept "the typical floor plan".

The first floor of T3 or T4 is a different case. The list on that drawing shows flats 1 to 16, plus 35 and 36. That is eighteen flats on that level for the two towers together. But look at what is below it. The stilt floor drawing for T3 and T4 shows what that level holds: the fire control room, the meter room for the homes, the pump room for treated water, the high tension panel room, the electrical room, a way in and out for cars, and a ramp going up at a slope of 1-in-12. All of that sits next to the stilt parking, and next to the stilt parking that is as tall as two floors. It is cheap, and you can see exactly what you are accepting. You will live one floor above a working floor of machines and parked cars.

The cut-through drawings for T3 and T4 show what lies below that again. Both cuts, EE and FF, draw two basement levels, BASEMENT 01 and BASEMENT 02, below the level of the road outside. The lifts and stairs run down into them. Section FF also shows the podium sitting above a ground and stilt parking floor with cars drawn on it. It does not show the podium sitting at the level of the ground around the site. So under these towers there are two full basements of parking, then a stilt parking floor, then the podium, and only then the flats. And in Gurugram, two basements raise a water question. Ask what happens at the mouths of the ramps in heavy rain. Go and look for yourself if you can.

The really sensible cheap buy is the second floor of T5 or T6, on the podium side. It is a proper floor of flats. On the podium side there are four-bedroom flats with a utility area, dressing areas and balconies. On the road side there are three-bedroom flats. If you are buying at the bottom of this project, buy that one.

One warning about low floors in general. More than 1,100 cars park in the basements here. Fans push the air out of those basements. If you are taking a low flat, or one facing the podium, or one next to a ramp, find out where that air comes out before you sign. If you cannot find out, pay a price that assumes the answer is a bad one.

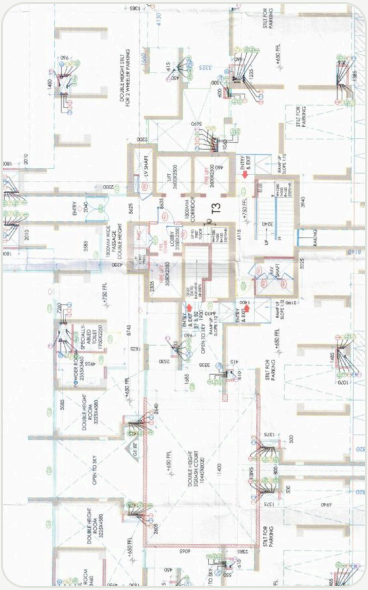


The stilt/ground T1/T2 plate shows parking and common circulation rather than saleable apartment rooms across multiple edge positions.

From the sanctioned sheet titled “STILT GROUND FLORR PLAN TOWER T1 & T2”, copied here exactly as the sheet prints it.

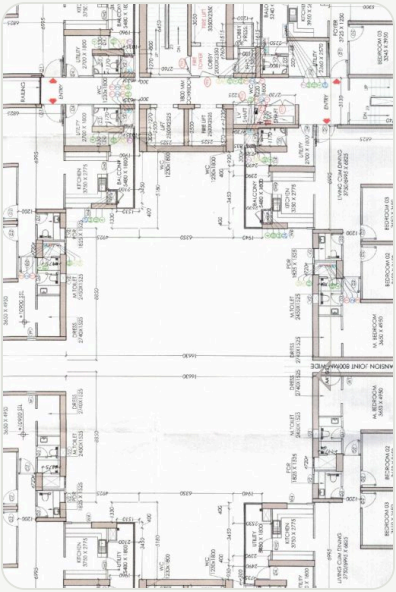
The first-floor T1/T2 plate is also drawn with parking/common-use rooms rather than a full apartment-room plate.

From the sanctioned sheet titled “FIRST FLOOR PLAN TOWER T1 & T2”, copied here exactly as the sheet prints it.



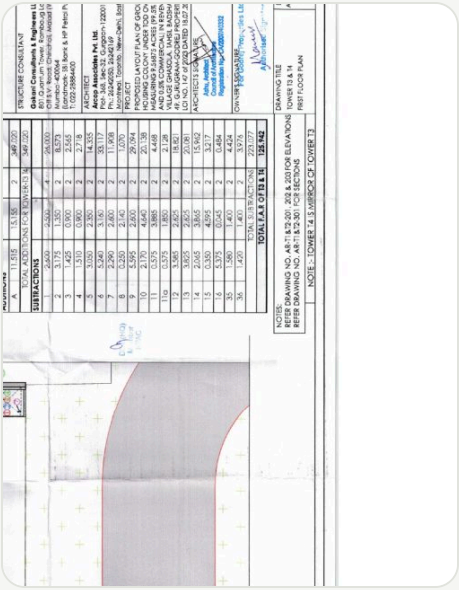
Plant/service rooms are visible near the T3/T4 core zone rather than the whole stilt area being open parking.

From the sanctioned sheet titled “STILT GROUND FLORR PLAN TOWER T3 & T4”, copied here exactly as the sheet prints it.



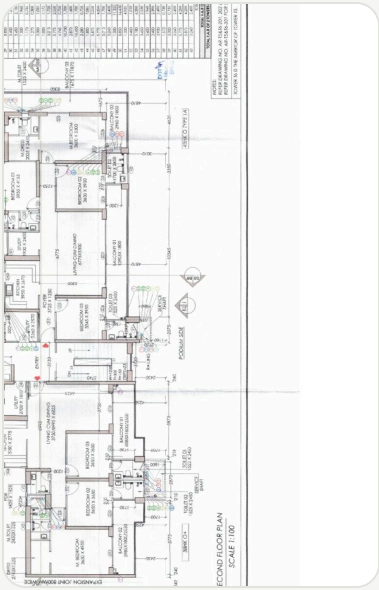
The second-floor core between units contains visible service/common rooms rather than sale-room labels: lift lobby, fire staircase, STP press, AHU/electrical/service-shaft style rooms and toilets.

From the sanctioned sheet titled “SECOND FLOOR PLAN TOWER T5 & T6”, copied here exactly as the sheet prints it.



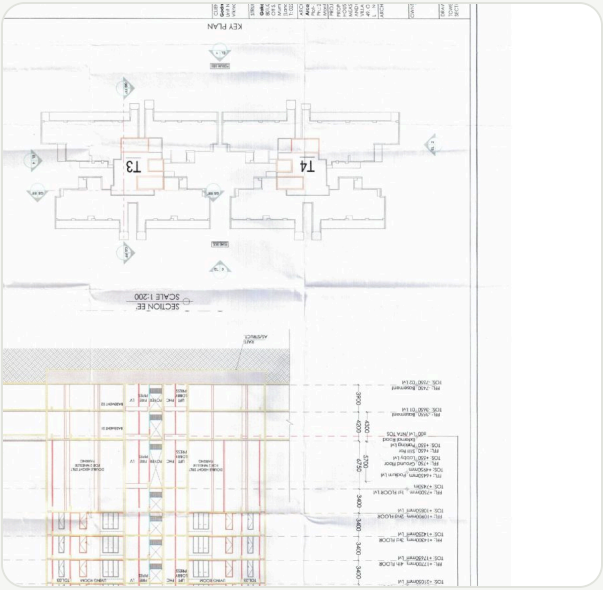
The right-side schedule for the first floor lists apartment numbers 1 through 16 plus 35 and 36, indicating 18 apartments on this first-floor sheet for the T3/T4 pair.

From the sanctioned sheet titled “FIRST FLOOR PLAN TOWER T3 & T4”, copied here exactly as the sheet prints it.



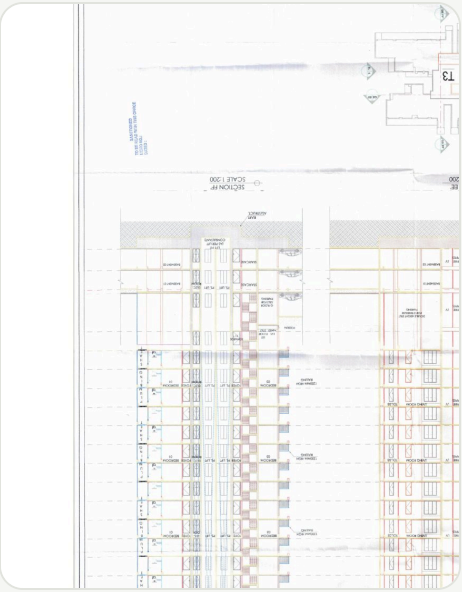
The sheet includes 4BHK O TYPE A units with four bedrooms, living-cum-dining, kitchen, utility, toilets/dress areas and balconies on the podium-side edge.

From the sanctioned sheet titled “SECOND FLOOR PLAN TOWER T5 & T6”, copied here exactly as the sheet prints it.



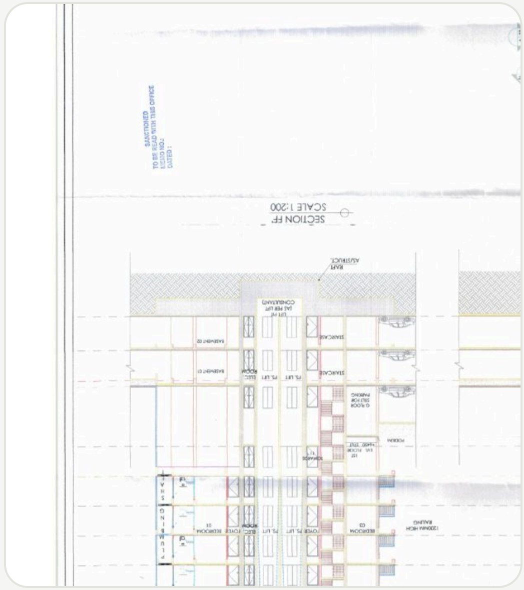
Section EE shows two basement levels below the external road datum under the tower section.

From the sanctioned sheet titled “SECTIONS EE & FF TOWER T3 & T4”, copied here exactly as the sheet prints it.



Section FF also shows two below-grade basement/parking levels under the tower section.

From the sanctioned sheet titled “SECTIONS EE & FF TOWER T3 & T4”, copied here exactly as the sheet prints it.



Section FF shows the podium above a ground/stilt parking level rather than at surrounding ground level.

From the sanctioned sheet titled “SECTIONS EE & FF TOWER T3 & T4”, copied here exactly as the sheet prints it.

Buying to rent out or to sell later: take a normal floor in T3 or T4, on the podium side

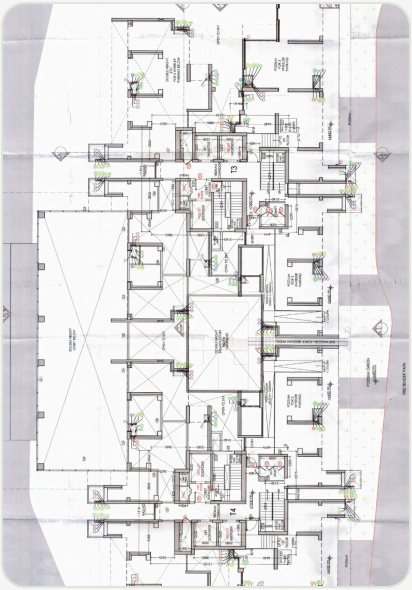
If you are buying this to rent out or to sell in a few years, the thing that matters is not the view. It is how easily the next person says yes.

Why you should stay above the first floor. The first floor drawing for T3 and T4 shows eighteen flats on that floor: flats 1 to 16, plus 35 and 36. Take the lower price only if the price cut is a real one.

Why you should stay below the top. The terrace drawing for T3 and T4 shows what sits on the slab above the highest flats: the overhead water tanks, the lift machine rooms and the machines on the roof. Ask to see this drawing. Ask which flat sits under which piece of it. Do this before you agree to pay extra for a top floor.

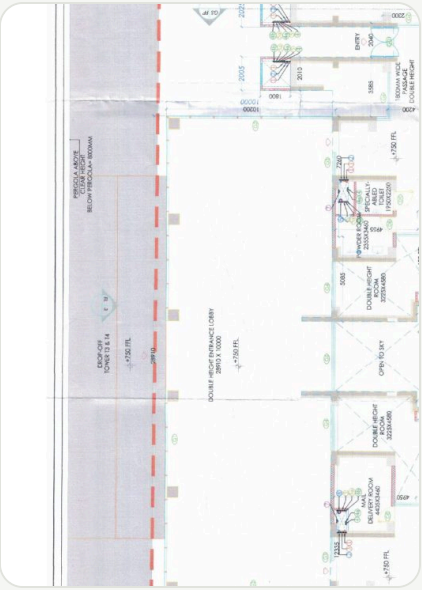
Podium side is a name written on the approved drawing, not a sales line. So you can make them stick to it.

About the price. Do not accept a sample floor plan. Ask for the plan of the exact flat they are offering you, with the measurements written on it. And note this: the approved papers price all six towers at nearly the same rate for each square foot of carpet area, at about Rs 29,748.



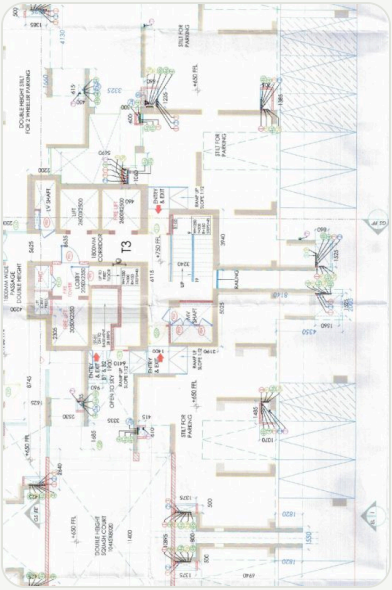
The visible flat/stack labels include T3 and T4 positions on the plan, with units placed to both sides and above/below each tower core along the first-floor plate.

From the sanctioned sheet titled “FIRST FLOOR PLAN TOWER T3 & T4”, copied here exactly as the sheet prints it.



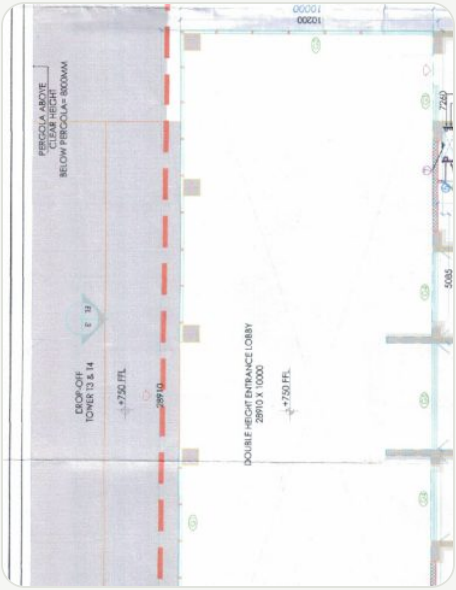
T4 shows an overhead-tank cluster on the terrace west/left of the T4 stair-lift core, with domestic and flushing tank footprints drawn inside the tower outline.

From the sanctioned sheet titled “TERRACE PLAN TOWER T3 & T4”, copied here exactly as the sheet prints it.



T3 shows an overhead-tank cluster on the terrace east/right of the T3 stair-lift core, with domestic and flushing tank footprints drawn inside the tower outline.

From the sanctioned sheet titled “TERRACE PLAN TOWER T3 & T4”, copied here exactly as the sheet prints it.

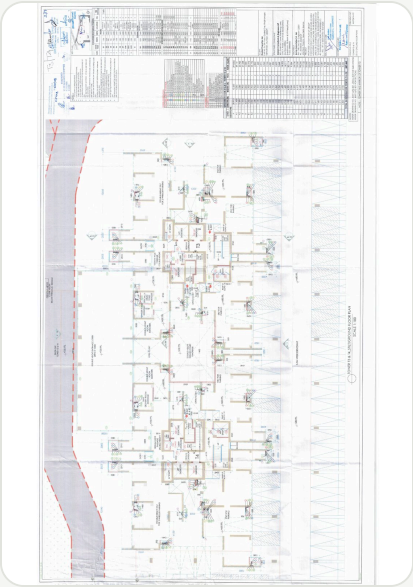


A telecom/mobile-tower provision is visibly marked above an overhead tank zone near the T4 terrace tank area.

From the sanctioned sheet titled “TERRACE PLAN TOWER T3 & T4”, copied here exactly as the sheet prints it.

Both T3 and T4 cores include lift machine-room or mumty/service-room footprints at terrace level, immediately around the stair and lift shafts.

From the sanctioned sheet titled “TERRACE PLAN TOWER T3 & T4”, copied here exactly as the sheet prints it.



No solar installation footprint is visibly readable on this terrace sheet within the supplied full sheet and enlarged panels.

From the sanctioned sheet titled “TERRACE PLAN TOWER T3 & T4”, copied here exactly as the sheet prints it.

WHAT DOES NOT MATTER

Things that are fine here, and things you can stop worrying about

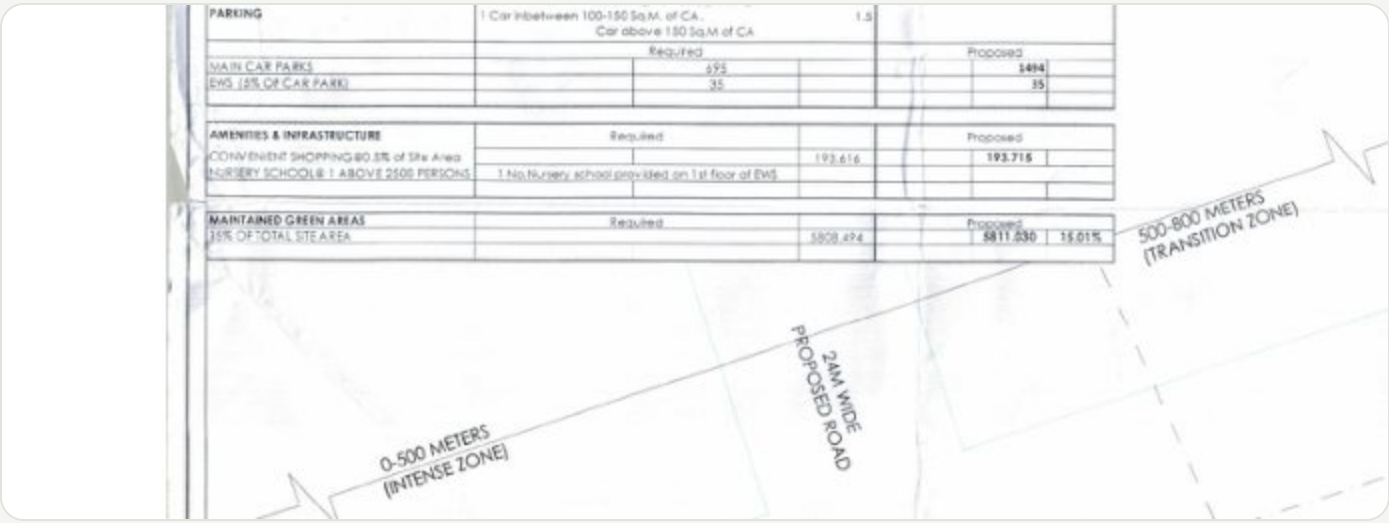
Most of what is in an approved set of drawings is normal and sound. A few things here are actually good news.

The power backup is generous, and it is stamped. The drawings are signed by the architect and by the government office. They record full DG power backup and 100 per cent lift backup. DG means a diesel generator. The one thing to do is get these exact words into your agreement. Do not let them soften into "power backup as per project norms".

The green area passes the rule, but only just. The rule asks for 5,808.494 square metres of kept green area. The papers offer 5,811.306. That is 15.015 per cent of the site, and the rule asks for at least 15 per cent. So it passes the rule by less than three square metres. It follows the rule. Do not expect big gardens. Treat the green area as a rule that has been met. Do not treat it as a facility you are buying.

The floor heights are the same everywhere above the second floor. The cut-through drawings show the same 3,400 millimetres from the top of one floor slab to the top of the next. So if anybody offers you a "high ceiling" flat and asks extra money for it, ask them to show it to you on a drawing.

The approved price papers do not charge a different rate for one tower than for another.



PARKING	1 Car inbetween 100-150 Sq.M. of CA. Car above 150 Sq.M of CA	1.5		
	Required		Proposed	
MAIN CAR PARKS	695		1494	
EWS (5% OF CAR PARK)	35		35	

AMENITIES & INFRASTRUCTURE	Required		Proposed	
CONVENIENT SHOPPING @0.5% of Site Area		193.616	193.715	
NURSERY SCHOOL@ 1 ABOVE 2500 PERSONS	1 No.Nursery school provided on 1st floor of EWS			

MAINTAINED GREEN AREAS	Required		Proposed	
35% OF TOTAL SITE AREA		5808.494	5811.030	15.015%

The maintained green area statement requires 5808.494 sq.m and proposes 5811.306 sq.m, shown as 15.015 percent of total site area.

From the sanctioned sheet titled “MASTER PLAN & AREA STATEMENTS_SITE PLAN”, copied here exactly as the sheet prints it.

FROM THE DRAWINGS

The rest of what the drawings show, one line each

None of these points alone decides your purchase. But each one is drawn on an approved sheet, and each is worth knowing before you visit the site. Use this part to look things up later. You do not have to read it through twice.

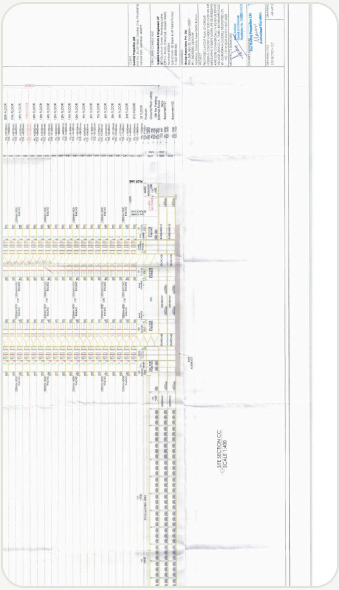
Site Section AA lists the levels from the bottom: two basements, a lower ground floor, the stilt parking floor, then the podium. The numbered floors of flats begin only above all of that. Height above that parking deck is what buys you an open view. That is the most useful thing these cut-through drawings tell a buyer here.

How deep the basement goes is important in Gurugram. The same drawing shows two full basement levels under the site. If you can, see the site during heavy monsoon rain, or just after it, and look at where water stands near the mouths of the ramps. That is one thing the drawings truly cannot tell you.

The approved sheets show a road 18 m wide along one edge of the site, and a road 24 m wide along another edge. Both are marked as proposed, which means planned and not yet built. Along a third edge there is a narrow road that the land records call a revenue rasta. Proposed roads get built on the government office's timetable, not the builder's. So when the sales desk talks about the approach road, or about how well the site connects to other places, treat it as a plan and not as a fact.

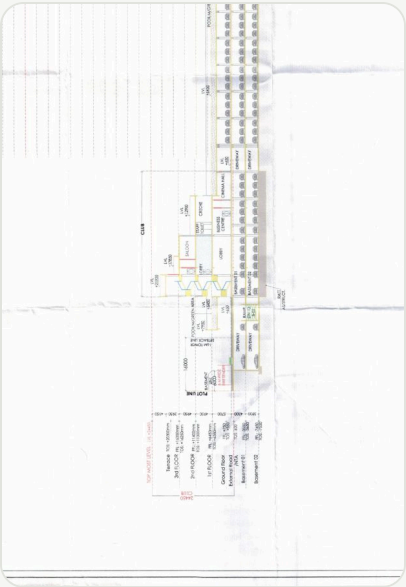
The list of areas on the master plan adds up to four buildings and 728 main units. Nothing here should stop you from buying. But it is why you should never accept a spoken number of flats, or a spoken claim about how crowded the site will be. Ask for the approved list of areas instead.

Rain water is carried to the edge of the site, and the drawing does not say where it goes after that. Blue rain water lines and manholes are drawn along the lower, right and upper edges of the site. The drawing does not name the drain or the outlet that finally takes this water away. Ask the seller's engineer. It is worth getting one sentence in writing.



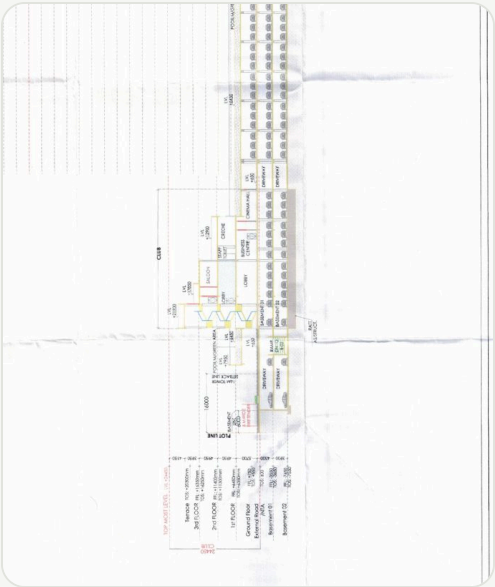
The residential tower section along CC is shown up to 31st floor/terrace with a red dashed top-most level marked LVL +122850.

From the sanctioned sheet titled “SITE SECTION CC”, copied here exactly as the sheet prints it.



The club block is shown as a much lower block, with top-most level marked LVL +24450 and terrace TOC +20350mm; its floor stack reads ground, 1st, 2nd, and 3rd/terrace levels above two basements.

From the sanctioned sheet titled “SITE SECTION CC”, copied here exactly as the sheet prints it.

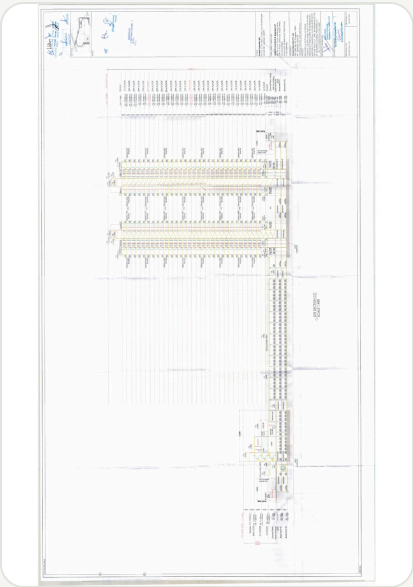


Across the club/residential cut, grade and platform levels change visibly: external road is near TOC 100, driveway is labelled LVL +650, pool/green area is labelled LVL +7950 and LVL +8455, and the club has internal levels up to LVL +12200/+17650/+21200.

From the sanctioned sheet titled “SITE SECTION CC”, copied here exactly as the sheet prints it.

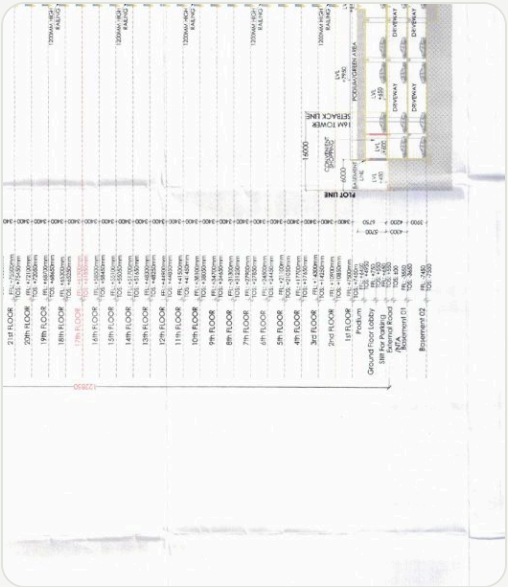
The section shows ramped level transitions, including a 'RAMP DOWN SLOPE 1:10' between driveway/basement levels and another ramp near the tower/service area.

From the sanctioned sheet titled “SITE SECTION CC”, copied here exactly as the sheet prints it.



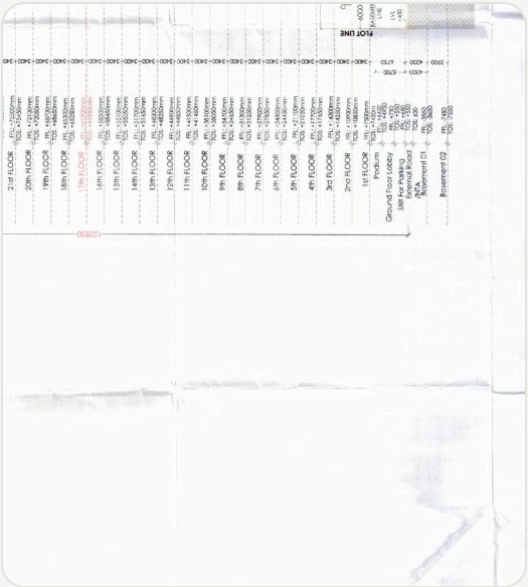
No operative EWS or nursery-school block label is visibly readable on S51 along cut CC; the readable non-residential label on the admitted sheet is 'CLUB'.

From the sanctioned sheet titled “SITE SECTION CC”, copied here exactly as the sheet prints it.



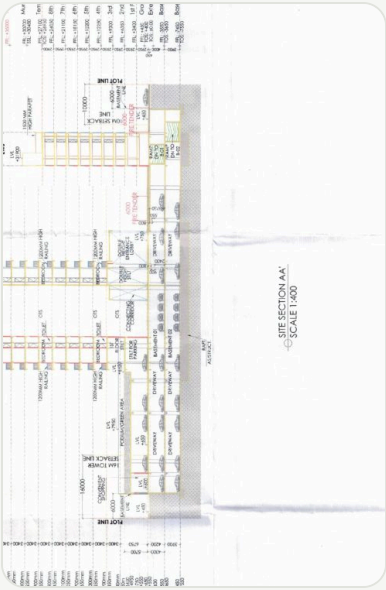
Site Section AA shows the podium and ground-floor lobby above the external/approach road datum.

From the sanctioned sheet titled “SITE SECTION AA”, copied here exactly as the sheet prints it.



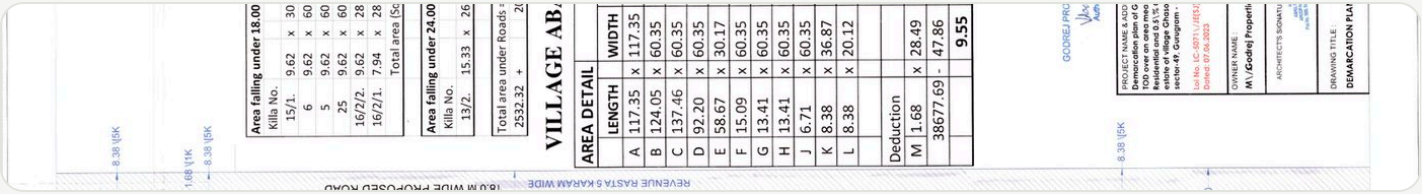
Site Section AA shows two basement levels below the road datum, with Basement 01 and Basement 02 marked at negative levels.

From the sanctioned sheet titled “SITE SECTION AA”, copied here exactly as the sheet prints it.



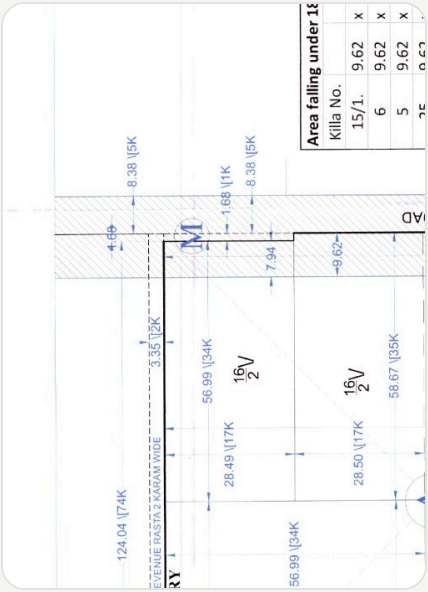
A separate smaller vertical stack on the same section is marked with Ground Floor FFL +450 / TOC +400 and the same basement labels, while its External Road line is visible beside it.

From the sanctioned sheet titled “SITE SECTION AA”, copied here exactly as the sheet prints it.



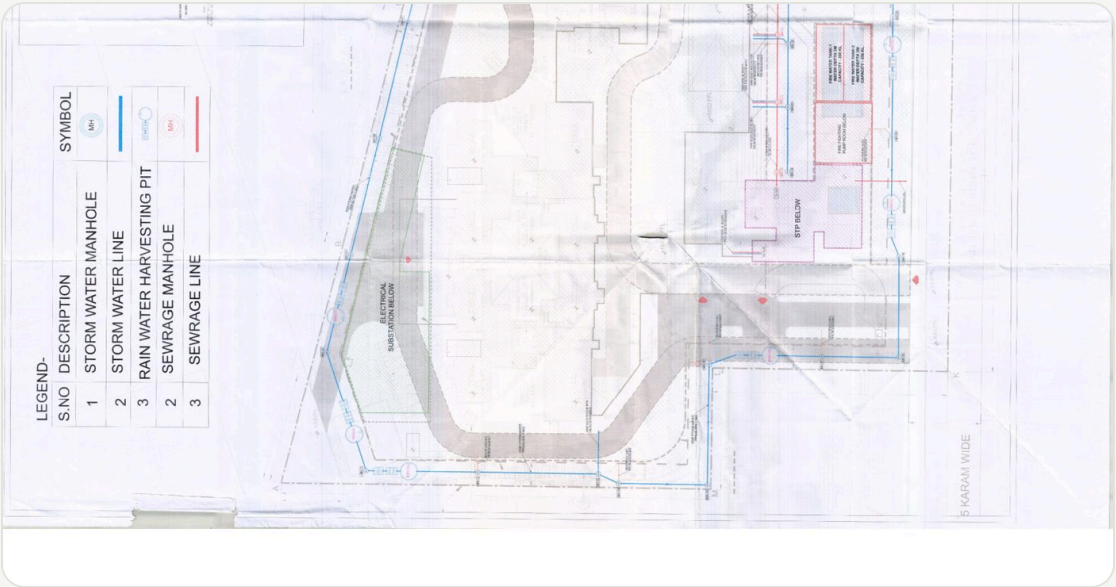
The north side of the demarcated site boundary abuts a corridor labelled as an 18.0 m wide proposed road, with a revenue rasta label also visible along the same top edge.

From the sanctioned sheet titled “DEMARCATION PLAN”, copied here exactly as the sheet prints it.



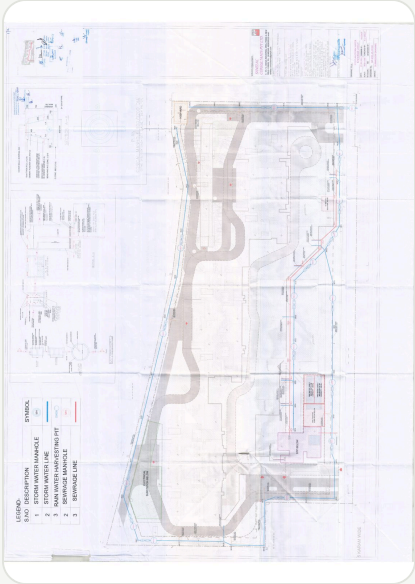
The west side of the demarcated boundary abuts a revenue rasta marked 2 karam wide.

From the sanctioned sheet titled “DEMARCATION PLAN”, copied here exactly as the sheet prints it.



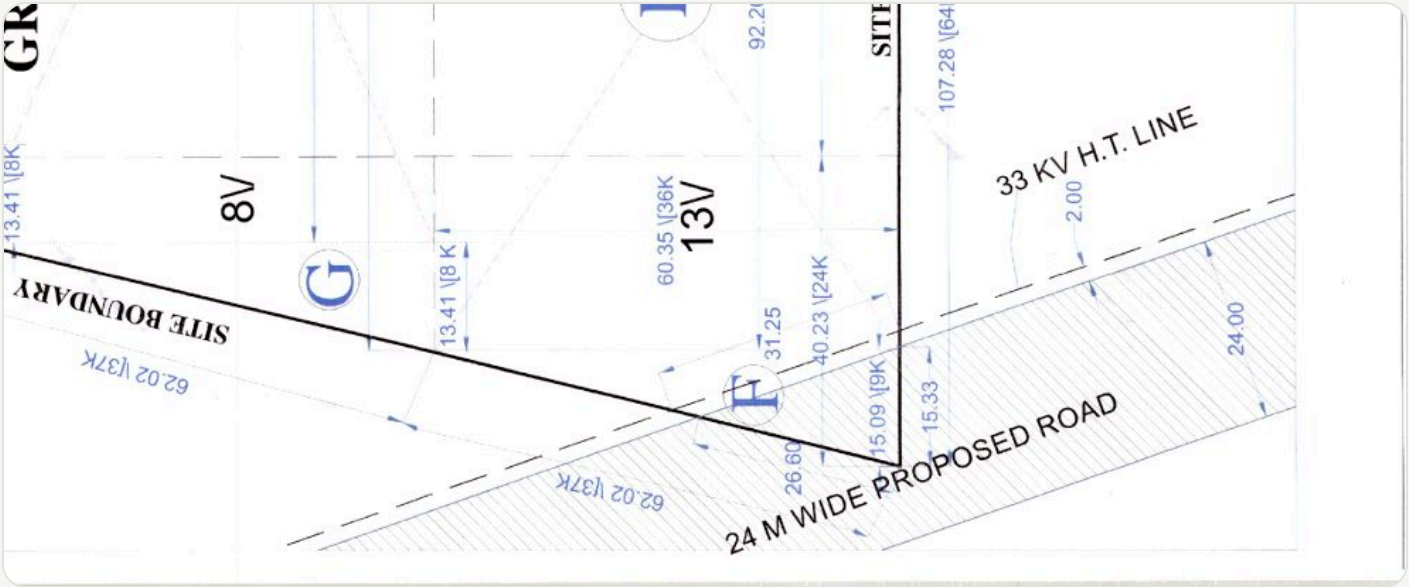
Storm-water lines are drawn around the site perimeter, with blue storm-water manholes and blue pipe runs along the lower, right, and upper site edges.

From the sanctioned sheet titled “SITE PLAN STORM WATER & SEWERAGE LAYOUT”, copied here exactly as the sheet prints it.



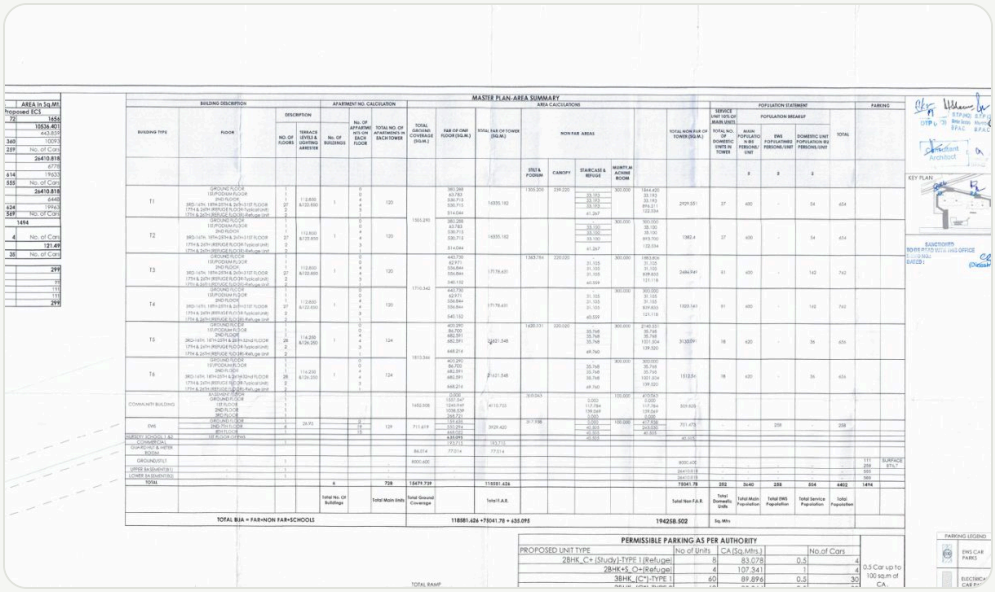
The visible storm-water discharge direction/outfall destination is not legibly labelled on this supplied sheet image.

From the sanctioned sheet titled “SITE PLAN STORM WATER & SEWERAGE LAYOUT”, copied here exactly as the sheet prints it.



The south-east edge of the demarcated boundary abuts a hatched road corridor labelled 24 m wide proposed road.

From the sanctioned sheet titled “DEMARCATION PLAN”, copied here exactly as the sheet prints it.



MASTER PLAN AREA SUMMARY

BUILDING TYPE	FLOOR	NO. OF FLOORS	TERRACE LEVEL & LIGHTING ARRESTER	No. OF APARTMENTS EACH FLOOR	TOTAL NO. OF APARTMENTS IN EACH TOWER	TOTAL GROUND COVERAGE (SQ.M.)	FAR OF ONE FLOOR (SQ.M.)	TOTAL FAR OF TOWER (SQ.M.)	AREA & FOODRM	CANOPY	STAIRCASE & REFUGE	MUMTY,M ACHINE ROOM	TOTAL NON FAR OF TOWER (SQ.M.)	TOTAL NO. OF DOMESTIC UNITS IN THE TOWER	ASUM POPULATION IN BIS PERSONS UNIT	EWS POPULATIONBIS PERSONS UNIT	DOMESTIC UNIT POPULATION BIS PERSONS UNIT	TOTAL	PARKING
T1	GROUND FLOOR	1		0			301.269				32.193	300.000	1844.420						
	1ST FLOOR	1		0			43.782				32.193		32.193						
	2ND FLOOR	1		4			530.713				32.193		876.211						
	3RD-14TH, 18TH-20TH & 26TH-31ST FLOOR (17TH & 24TH BEING FLOOR 23,25th Refuge Unit)	27	1 (2,850) 8/120,850	1	120		514.044	14335.182			41.247		1122.594	27	400	-	54	454	
	15TH & 25TH BEING FLOOR 23,25th Refuge Unit	2		3			41.247												
T2	GROUND FLOOR	1		0			301.269				32.193	300.000	1844.420						
	1ST FLOOR	1		0			43.782				32.193		32.193						
	2ND FLOOR	1		4			530.713				32.193		876.211						
	3RD-14TH, 18TH-20TH & 26TH-31ST FLOOR (17TH & 24TH BEING FLOOR 23,25th Refuge Unit)	27	1 (2,850) 8/120,850	1	120	1355.890	514.044	14335.182			41.247		1122.594	27	400	-	54	454	
	15TH & 25TH BEING FLOOR 23,25th Refuge Unit	2		3			41.247												
T3	GROUND FLOOR	1		0			465.720		1368.784	220.000	31.125	300.000	1865.820						
	1ST FLOOR	1		0			62.971				31.125		31.125						
	2ND FLOOR	1		4			556.864				31.125		876.211						
	3RD-14TH, 18TH-20TH & 26TH-31ST FLOOR (17TH & 24TH BEING FLOOR 23,25th Refuge Unit)	27	1 (2,850) 8/120,850	1	120	1710.342	540.152	17178.431			41.559		1121.118	51	400	-	142	742	
	15TH & 25TH BEING FLOOR 23,25th Refuge Unit	2		3			40.559												
T4	GROUND FLOOR	1		0			465.720				31.125	300.000	1865.820						
	1ST FLOOR	1		0			62.971				31.125		31.125						
	2ND FLOOR	1		4			556.864				31.125		876.211						
	3RD-14TH, 18TH-20TH & 26TH-31ST FLOOR (17TH & 24TH BEING FLOOR 23,25th Refuge Unit)	27	1 (2,850) 8/120,850	1	120		540.152	17178.431			41.559		1121.118	51	400	-	142	742	
	15TH & 25TH BEING FLOOR 23,25th Refuge Unit	2		3			40.559												
T5	GROUND FLOOR	1		0			403.260		1428.031	300.000	35.748	300.000	2148.165						
	1ST FLOOR	1		0			86.703				35.748		35.748						
	2ND FLOOR	1		4			482.391				35.748		1321.924						
	3RD-14TH, 18TH-20TH & 26TH-31ST FLOOR (17TH & 24TH BEING FLOOR 23,25th Refuge Unit)	28	1 (4,200) 8/126,000	1	124	1815.534	449.214	12321.548			49.760		1391.280	18	420	-	36	456	
	15TH & 25TH BEING FLOOR 23,25th Refuge Unit	2		3			49.760												
T6	GROUND FLOOR	1		0			403.260				35.748	300.000	2148.165						
	1ST FLOOR	1		0			86.703				35.748		35.748						
	2ND FLOOR	1		4			482.391				35.748		1321.924						
	3RD-14TH, 18TH-20TH & 26TH-31ST FLOOR (17TH & 24TH BEING FLOOR 23,25th Refuge Unit)	28	1 (4,200) 8/126,000	1	124		449.214	12321.548			49.760		1391.280	18	420	-	36	456	
	15TH & 25TH BEING FLOOR 23,25th Refuge Unit	2		3			49.760												
COMMUNITY BUILDING	GROUND FLOOR	1				1452.508	1200	4410.752	3.000		3.000	100.000	4506.000						
	1ST FLOOR	1					1200				117.784		117.784						
	2ND FLOOR	1					1200.559				139.049		139.049						
	3RD FLOOR	1					268.22				0.000		0.000						
EWS	GROUND FLOOR	1	24.93	0	124	711.419	1101.625	3029.420	3.000	100.000	3.000	100.000	207.000	711.419	-	-	208	-	208
	2ND FLOOR	1		4			1101.625				40.800		40.800						
	3RD FLOOR	1		4			1101.625				40.800		40.800						
SERVICE SCHOOLS / AB	1ST FLOOR	1					4.00.693				40.800		40.800						
SERVICE SCHOOLS / AB		1					173.214	173.214											
GUARDHOUSE & OPEN SPACE		1				86.07.4		77.07.4											
GROUNDFLOOR		1				8000.600							8000.600					111	SURFACE STILT
UPPER BASEMENT(S)		1											28417.013					299	
LOWER BASEMENT(S)		1											28417.013					299	
TOTAL			6	Total No. Of Buildings	728 Total Main Units	15479.739 Total Ground Coverage		118581.626 Total F.A.R					78041.78 Total Non F.A.R	202 Total Domestic Units	3640 Total Main Population	208 Total EWS Population	504 Total Service Population	4402 Total Population	1494

TOTAL BUA = FAR+NON FAR+SCHOOLS 118581.626 +78041.78 + 630.093 194228.502 Sq.Mtrs

PERMISSIBLE PARKING AS PER AUTHORITY

PROPOSED UNIT TYPE	No of Units	CA (Sq.Mtrs.)	No.of Cars
2BHK_C+ (Study)-TYPE I (Refuge)	8	83.078	0.5 4
2BHK+S_O+(Refuge)	4	107.341	1 4
3BHK_(C*)-TYPE I	60	89.896	0.5 30

0.5 Car up to 100 sq.m of CA

PARKING LEGEND: EWS CAR PARKS; ELECTRICAL CAR PARKS

KEY PLAN

SANCTIONING AUTHORITY: HMDA, HMDA OFFICE

Architect

TOTAL RAMP

GET IN WRITING

Before you sign anything

This is the short list of things that must be written *in the agreement*. Not in a brochure, and not said to you across a desk. Everything here is already on a drawing or in the approved papers. The job is only to make it binding.

The approved set of drawings, named by number and date. The master site plan in these papers is drawing AR-MP-101, and the project line printed on it ends "DATED 18.07.2023". Ask for that sheet, and the tower plan for your own floor, to be attached to the agreement by drawing number and date. This is the single most useful sentence you can add. It means every promise about your view, your floor and your side is measured against a fixed piece of paper, and not against what somebody remembers.

Your carpet area, written down, measured against the approved floor. The approved sheet fixes one normal floor of T3 at 556.844 sq m. That figure includes the lift lobby and the corridor. So it is not the space inside the walls of your flat. Ask in writing for your flat's carpet area. Also ask for the loading factor, that is, the figure that takes you from the one number to the other, measured against this same floor.

Your parking: the space number, the level, and how far it is from the machine rooms. Basement 1 holds the sewage plant, the fire pumps and the transformer. In the approved parking count, a flat with less than 100 sq m of carpet area counts as half a car space. So "covered parking included" is not a fact until a parking space number and a level are written down. Ask in writing what a second car costs. Ask before you book, not after.

Full DG power back-up and 100% lift back-up, word for word. DG means a diesel generator. The architect and the government office have stamped this on the approved set. It is genuinely good, and it is worth exactly as much as its presence in your agreement. Copy the words across exactly.

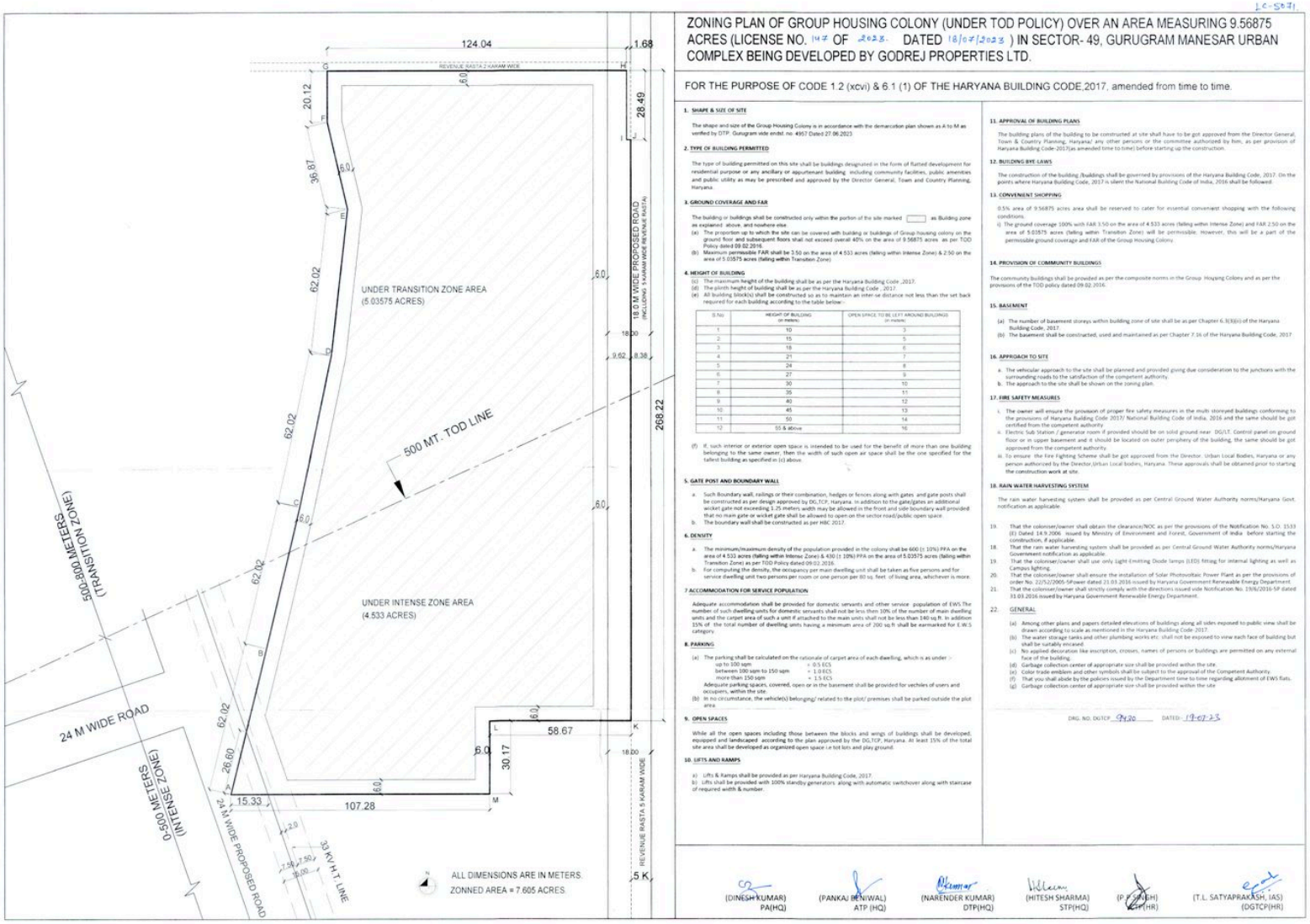
An upper limit on EDC and IDC, or a clause that keeps them off you. EDC is the external development charge. IDC is the infrastructure development charge. The licence fixes the infrastructure development charges at Rs 7,21,88,860, payable in two instalments, with 18% a year on any delay. For EDC it leaves the amount to whatever an outside schedule says. So there is no upper limit at all. Ask for a ceiling on what can be charged to you later, or ask to be kept out of it.

Which zone your tower stands in. A line runs across this site and cuts it into two zones with different crowding rules. On one side of the line the rule is 3.50 FAR and 600 persons per acre. On the other side it is 2.50 FAR and 430 persons per acre. FAR is the floor area ratio, the figure that fixes how much floor area may be built on the land. Get your zone written into the allotment letter. That zone fixes how crowded it will be around your home.

The maintenance deed, and the corpus demand, item by item. The corpus is the lump sum they collect and hold. Under the licence, the builder himself must maintain the roads, the parks and the services for five years. Ask what the maintenance charge and the corpus are actually being collected for. Get the rate written down. Get it in writing how much it can go up.

The conditions on the height clearance. Ask for a copy of the clearance and its conditions, attached to your agreement.

If they offer you the 17th or the 26th floor of T5 or T6. Those two floors have their own approved drawing, and 33.992 sq m of that floor is shaded as refuge terrace. Ask for that drawing. Ask in writing where the refuge area sits compared to your rooms, and who is allowed to walk across it.



The zoning line across the site: 3.50 FAR / 600 persons per acre on one side, 2.50 / 430 on the other. Get your tower's side of that line into the allotment letter.

From the sanctioned sheet titled “ZONING PLAN”, copied here exactly as the sheet prints it.

WHAT NOT TO PAY FOR

The things on this site that nobody will tell you about

These are in order of how strong the proof is. The first ones are labels printed on approved drawings. The last one is something I worked out myself, and I have said so.

A 33 KV high-tension power line runs along the front of the site. It is drawn on the boundary drawing, the one called the demarcation plan, near the place where the boundary meets the 24-metre proposed road on the south-east. Before you take any flat whose windows face that way, ask how many metres your tower stands back from that line. Get the answer written down. If the answer is vague, choose a different tower. This is not a thing you can argue about after you get the keys.

The drawing shows only about 33 parking spaces on the open ground that are not kept for any one flat, and there are 857 homes — and Basement 1 holds the sewage treatment plant, the fire pumps and the transformer. In the parking count, a flat under 100 square metres of carpet counts as half a car space, not a full one. So "covered parking included", said out loud, means nothing here. Get the parking space number, the level and the distance from the machine rooms into the agreement. And settle in writing what a second car costs, before you book and not after.

The drawing for rain water and sewage puts the sewage treatment plant in the lower right of the site. It sits outside the ground that the nearest building stands on. It is beside the road inside the project, near the boundary marked 15 karam wide. Karam is a local land measure. A group of pump rooms sits right next to it. The electricity substation is drawn as a green shaded block on the lower left edge of the site. Honestly, this is good news. The heavy machines sit on the service edge of the site rather than in among the towers. But it does mean this: a flat whose windows turn towards that outer edge faces the plant, and a flat whose windows turn inward does not. Smell and pump noise are the two things you cannot fix afterwards.

Blue rain water lines and manholes run along the lower, right and upper edges of the site, out to the boundary. Walk along the edge of the site and see where those lines go.

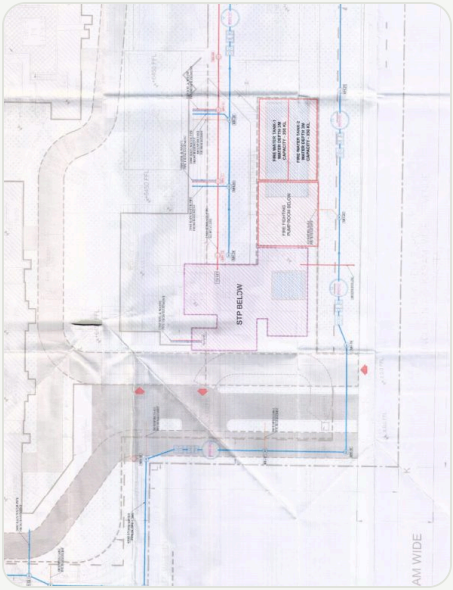
The nursery school does not sit on a quiet green pocket. Its ground floor drawing shows the mouths of basement ramps on two opposite sides. On one side is RAMP OUT FROM BASEMENT-2, at minus 6.85 metres. At the opposite edge of the plan is RAMP DOWN TO BASEMENT, at a slope of 1-in-10. The building opens onto unbroken open ground that cars drive over, not onto a garden courtyard. So a flat chosen for its view over the school is looking at cars dropping children at school *and* at cars going in and out of the basement, on both sides of it.

"Near the club" is two completely different things. The club sits inside the layout, with the road inside the project running in a loop along one side of it. The place where cars stop to drop people, the way in and the way out, are all on that road side. The pool and the deck around the pool are on the opposite side. One side is an open area for cars. The other side is a swimming pool. Before you treat being close to the club as a good thing or a bad thing for any one flat, get the sales desk to point out which of the club's two sides your rooms look at.

"Near the shops" works the same way. Flats on that side get shops within walking distance. They also get people walking past, delivery men coming and going, and lights in the evening. Flats on the other side face the back of the shops and do not get the shops close by. Neither is wrong. What is wrong is paying the same price for the side facing the shopfronts as for a quiet side facing inward.

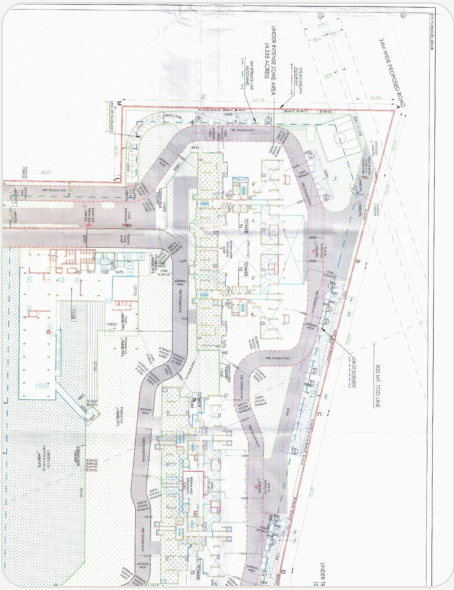
Cars come into this project on one side of the group of towers, and it is the same side at every level. At ground level, the mouth of the ramp going down opens off the road inside the project, right beside the lifts and stairs on the right-hand side. At podium level, the clearest opening in the road that cars drive round is on the same upper right edge, beside the same group of towers. Two levels, the same side. That is how this site is built. It is not an accident. In the basements, the ramps and the moving cars run along the outer edge, while the lanes between the parked cars go around the lifts and stairs. That is the good arrangement. Flats on the ramp side take the noise. Flats near the lifts and stairs get the shorter walk from the car.

The proof for this last one is the weakest, so I have written it as the question it really is. A small piece of land is cut out of the corner of this colony. The drawings show that cut-out piece. They do not tell us who owns it. They do not tell us what will be built on it. If you are looking at a flat that looks out across that corner, the honest position is this. Ask the sales desk who owns it and what has been approved there. Until somebody answers, treat that view as uncertain when you agree the price.



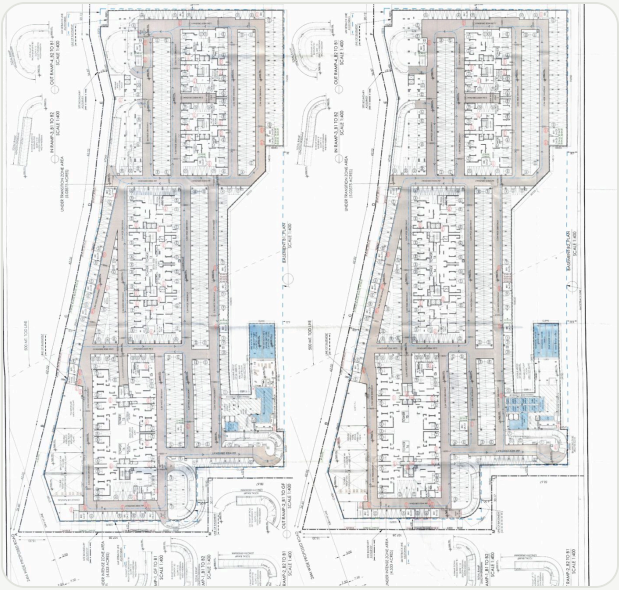
The STP/fire-pump utility block is visibly placed beside the lower internal approach edge, not inside a residential tower footprint.

From the sanctioned sheet titled “SITE PLAN STORM WATER & SEWERAGE LAYOUT”, copied here exactly as the sheet prints it.



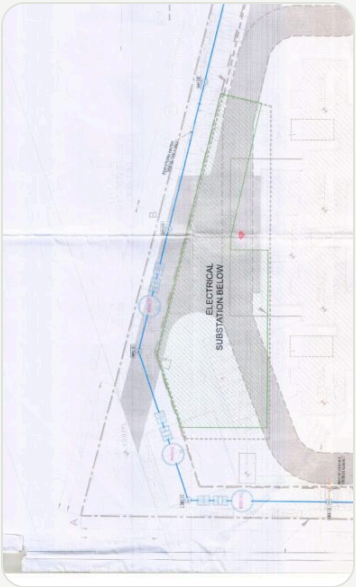
On the 1st podium plan, the ramp/driveway route forms a grey loop around the tower cores, with the clearest ramp-mouth opening on the upper/right perimeter beside the right-side tower/core group.

From the sanctioned sheet titled “1ST PODIUM PLAN & RAMP SECTION”, copied here exactly as the sheet prints it.



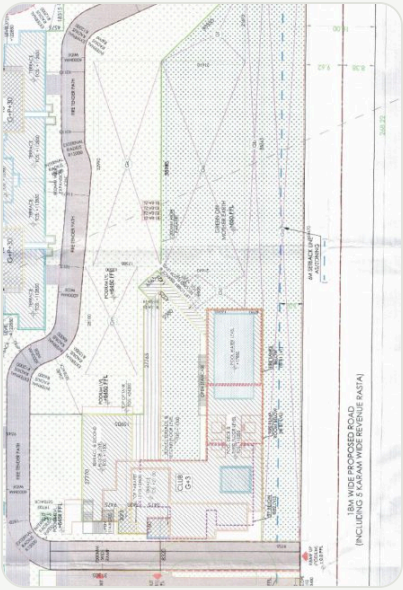
On the basement layout sheet, the vehicular parking aisles and ramp arrows are drawn around the tower footprints, with ramp/entry movement visibly concentrated along the perimeter rather than through the central residential cores.

From the sanctioned sheet titled “BASEMET B1 & B2 _LAYOUT PLAN”, copied here exactly as the sheet prints it.



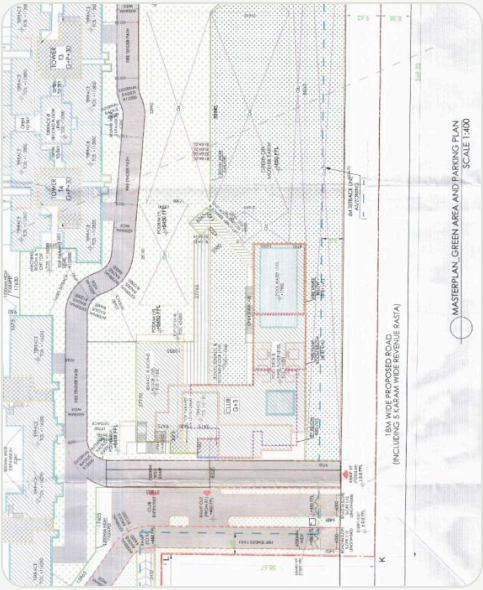
The electrical enclosure is drawn on the same lower-left service edge of the site plan, beside the plot boundary and not inside the central residential footprint mass.

From the sanctioned sheet titled “SITE PLAN STORM WATER & SEWERAGE LAYOUT”, copied here exactly as the sheet prints it.



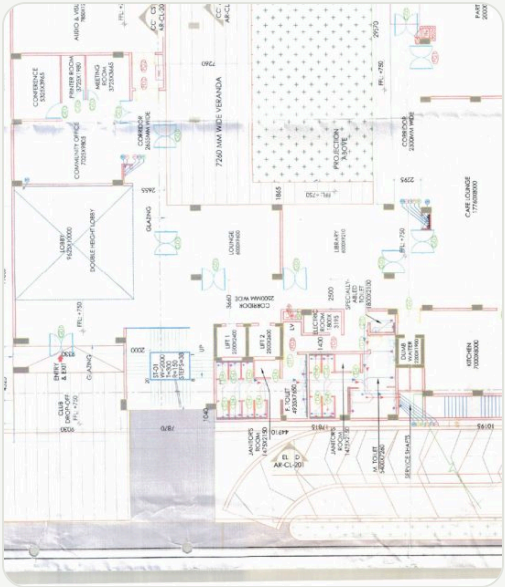
The club footprint is shown within the site layout on the internal driveway loop, not at the outer plot edge.

From the sanctioned sheet titled “GREEN AREA CALCULATION, PARKING PLAN & PODIUM GROUND COVERAGE”, copied here exactly as the sheet prints it.



The club is adjacent to the internal vehicular circulation spine, with the driveway wrapping along its active side.

From the sanctioned sheet titled “GREEN AREA CALCULATION, PARKING PLAN & PODIUM GROUND COVERAGE”, copied here exactly as the sheet prints it.

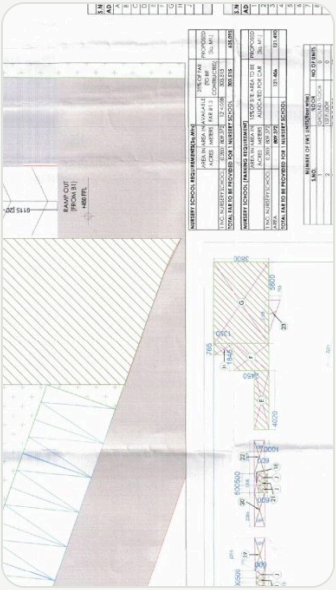


The club ground-floor plan shows a labelled drop-off and vehicular entry/exit zone on the driveway side of the club.

From the sanctioned sheet titled “STILT GROUND FLOOR PLAN & AREA DIAGRAM CLUB”, copied here exactly as the sheet prints it.

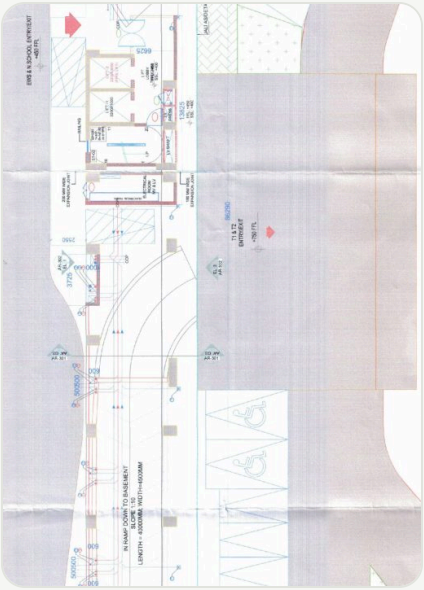
The pool and pool deck are shown outside the club mass on the opposite landscape side from the driveway/drop-off approach.

From the sanctioned sheet titled “STILT GROUND FLOOR PLAN & AREA DIAGRAM CLUB”, copied here exactly as the sheet prints it.



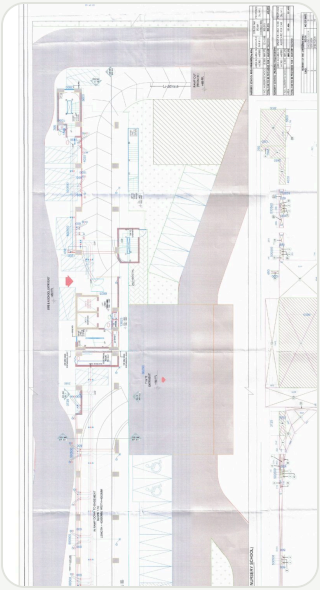
The EWS/nursery-school ground-floor block is drawn directly beside ramp infrastructure on the sheet.

From the sanctioned sheet titled “GROUND FLOOR PLAN & AREA DIAGRAM EWS & NURSERY SCHOOL”, copied here exactly as the sheet prints it.



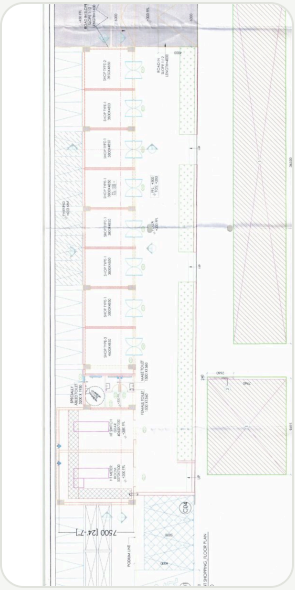
A second basement ramp is drawn at the opposite side of the EWS/nursery-school ground-floor plan.

From the sanctioned sheet titled “GROUND FLOOR PLAN & AREA DIAGRAM EWS & NURSERY SCHOOL”, copied here exactly as the sheet prints it.



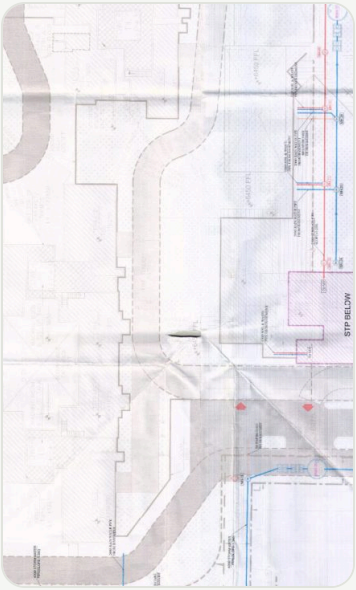
The ground-floor plan shows the EWS/nursery-school block adjoining broad grey vehicular/circulation surfaces rather than being set inside a separated landscape-only pocket.

From the sanctioned sheet titled “GROUND FLOOR PLAN & AREA DIAGRAM EWS & NURSERY SCHOOL”, copied here exactly as the sheet prints it.



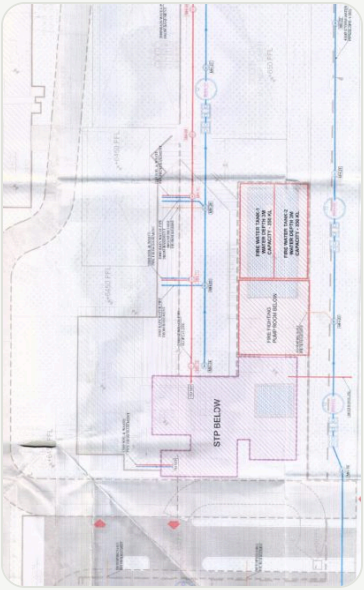
The convenient-shopping row presents a continuous customer-facing side along the shop doors.

From the sanctioned sheet titled “CONVENIENT SHOPPING, GUARD ROOM, AREA DIAGRAM ELEVATION SECTIONS”, copied here exactly as the sheet prints it.



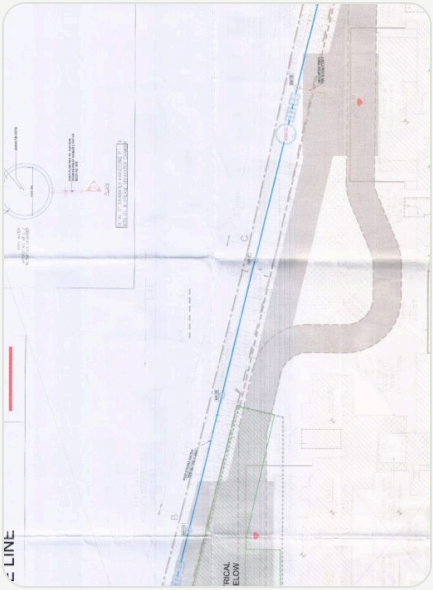
The STP is drawn in the lower-right part of the site, below and outside the nearest tower/building footprint, beside the internal driveway and near the boundary marked 15 KARAM WIDE.

From the sanctioned sheet titled “SITE PLAN STORM WATER & SEWERAGE LAYOUT”, copied here exactly as the sheet prints it.



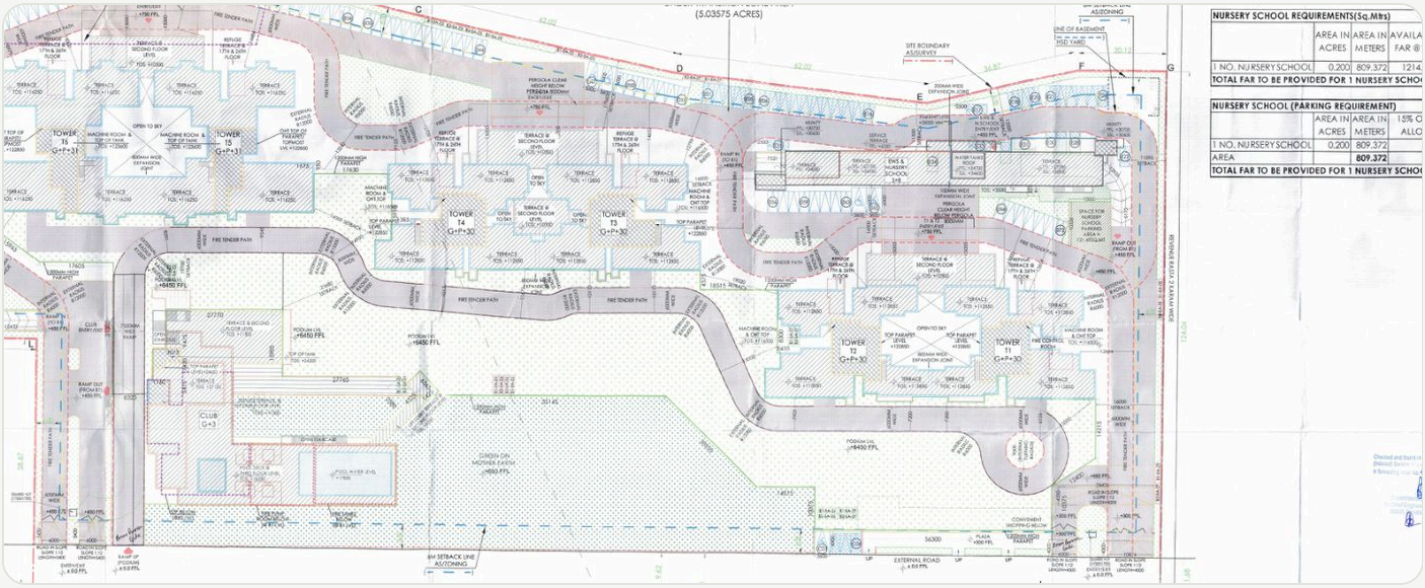
A pump-chamber/service cluster is drawn immediately to the right of the STP block, also in the lower-right part of the site near the same boundary.

From the sanctioned sheet titled “SITE PLAN STORM WATER & SEWERAGE LAYOUT”, copied here exactly as the sheet prints it.



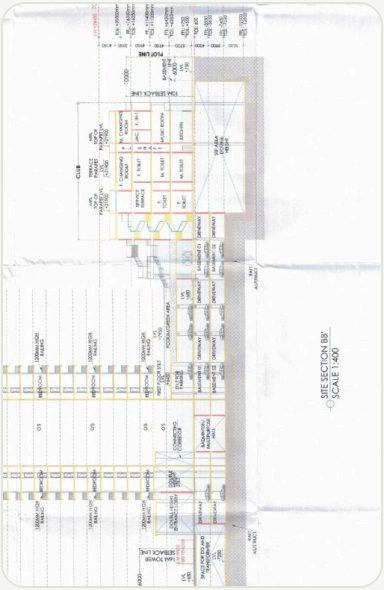
A green hatched area labelled "ELECTRICAL SUBSTATION BELOW" sits along the lower-left perimeter, but no visible storm-water retention tank label is readable in the supplied image near it.

From the sanctioned sheet titled “SITE PLAN STORM WATER & SEWERAGE LAYOUT”, copied here exactly as the sheet prints it.



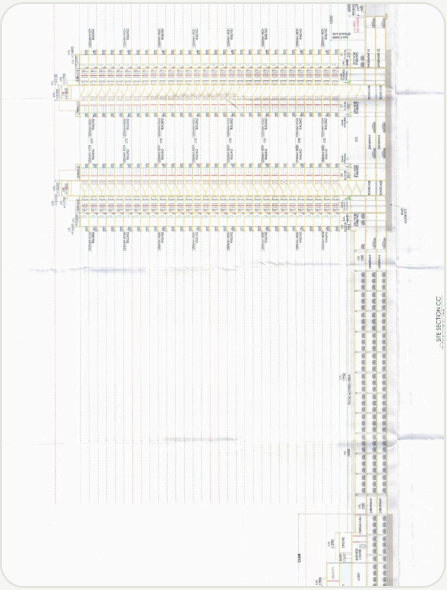
The plan shows lower built-form elements around the towers, including club/community and nursery-school blocks, on the same podium/site layout.

From the sanctioned sheet titled “MASTER PLAN & AREA STATEMENTS_SITE PLAN”, copied here exactly as the sheet prints it.



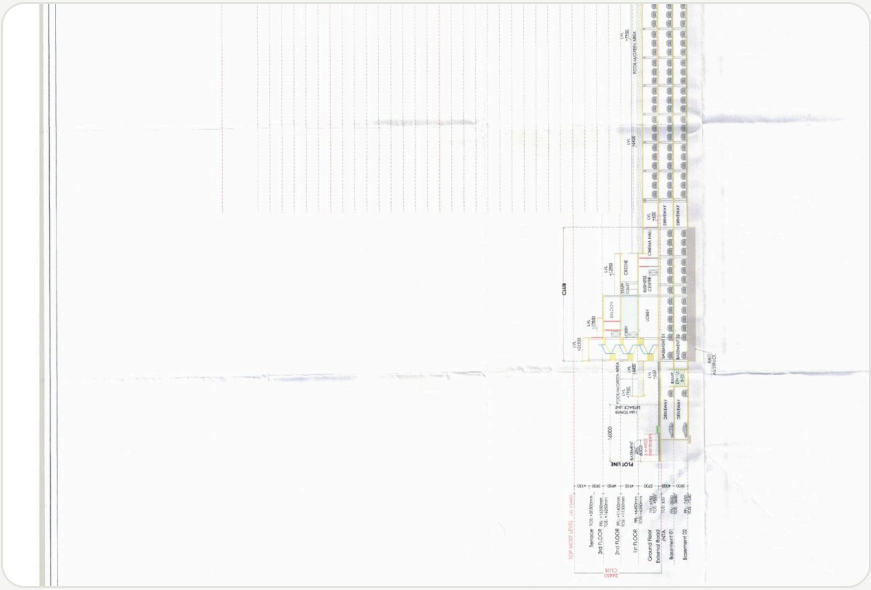
A club/low-rise block is drawn next to the tower base and reaches only a few floors above the podium/base zone.

From the sanctioned sheet titled “SITE SECTION BB”, copied here exactly as the sheet prints it.



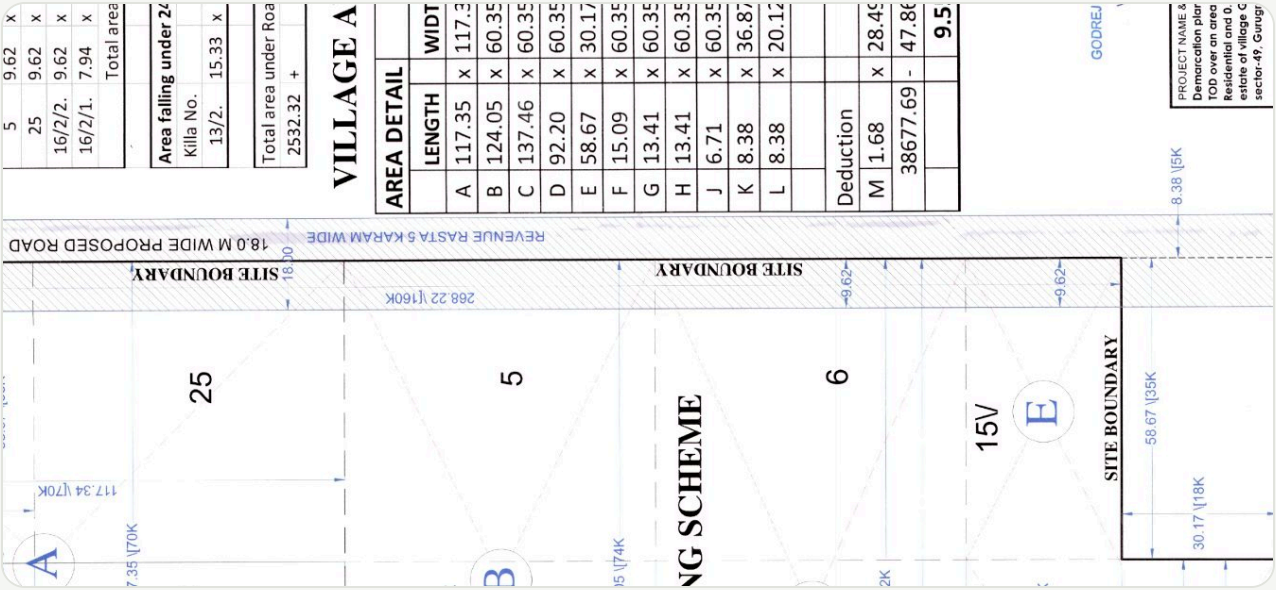
Section CC shows two tall residential tower sections rising above a continuous lower podium/parking base.

From the sanctioned sheet titled “SITE SECTION CC”, copied here exactly as the sheet prints it.



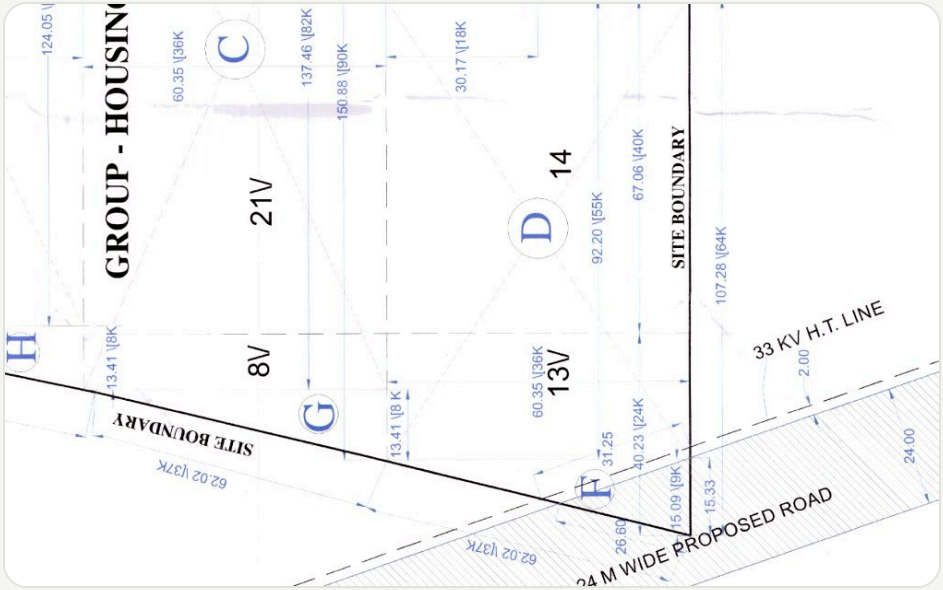
A long lower parking/podium mass and a separate club block are drawn below and beside the residential towers.

From the sanctioned sheet titled “SITE SECTION CC”, copied here exactly as the sheet prints it.



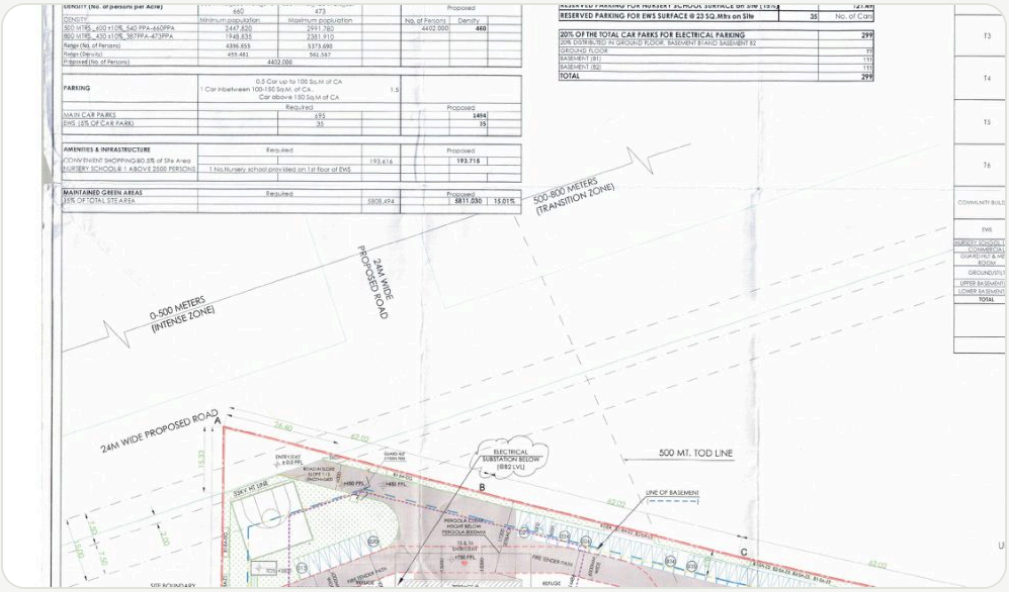
The demarcation sheet shows the group-housing scheme immediately below numbered plotted portions along its upper boundary.

From the sanctioned sheet titled “DEMARCATION PLAN”, copied here exactly as the sheet prints it.



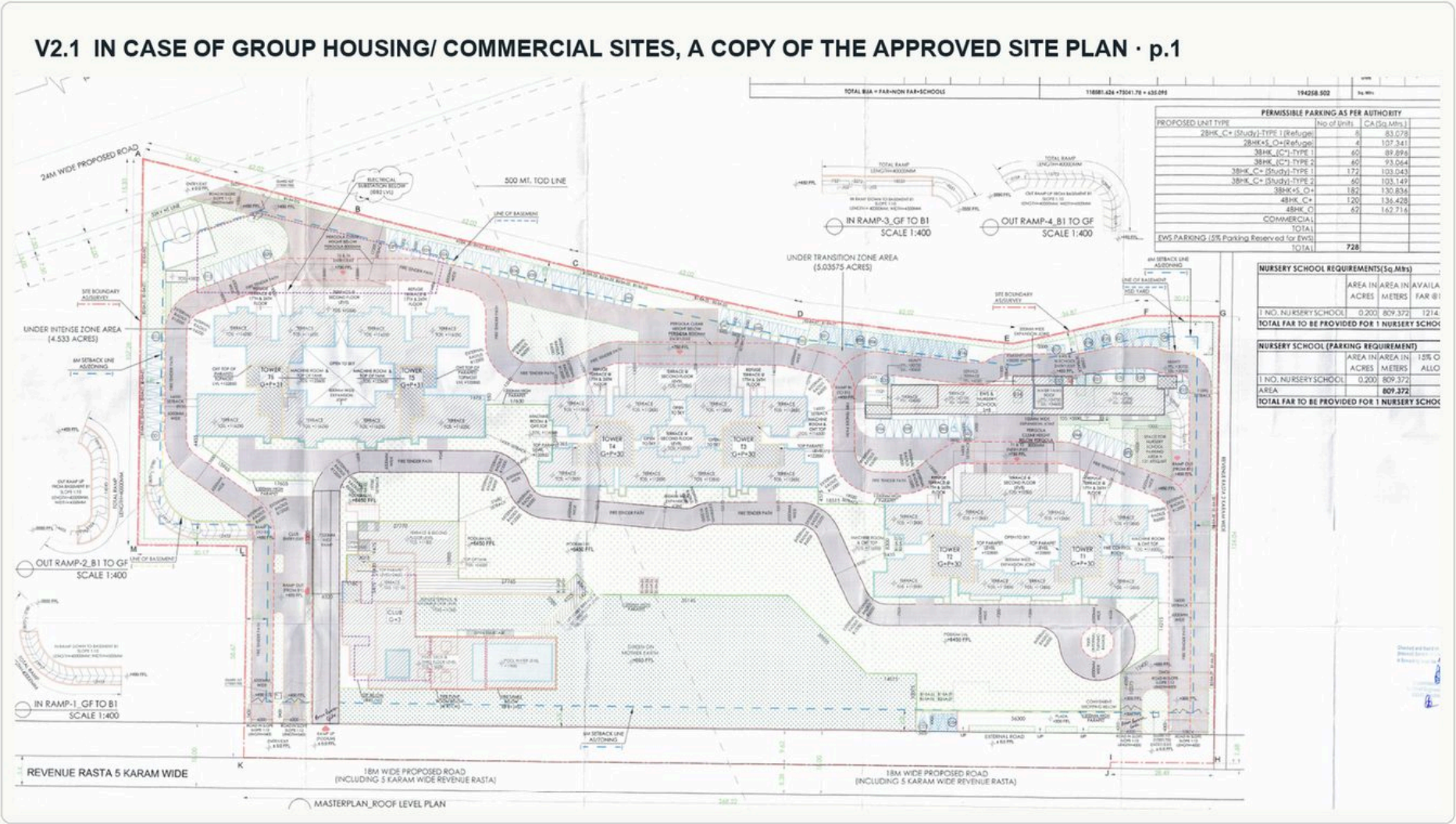
The lower-right edge of the demarcated group-housing scheme opens toward road frontage rather than another numbered plotted block.

From the sanctioned sheet titled “DEMARCATION PLAN”, copied here exactly as the sheet prints it.



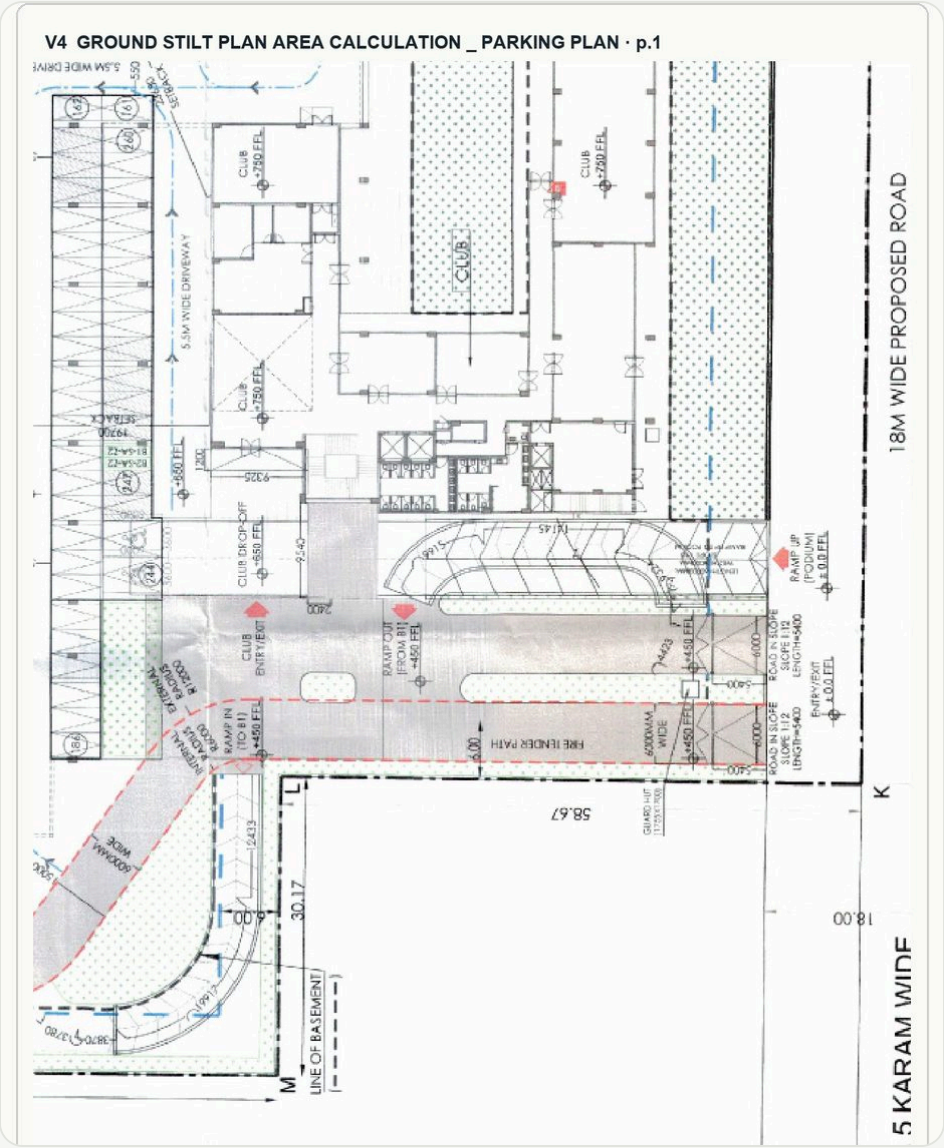
The upper/left side of the group-housing site plan faces an external proposed road corridor, not a plotted internal street drawn on this sheet.

From the sanctioned sheet titled “IN CASE OF GROUP HOUSING/ COMMERCIAL SITES, A COPY OF THE APPROVED SITE PLAN”, copied here exactly as the sheet prints it.



The group-housing approved site plan shows the group-housing/commercial footprints and drive network within the demarcated site.

From the approved drawing comparison: “IN CASE OF GROUP HOUSING/ COMMERCIAL SITES, A COPY OF THE APPROVED SITE PLAN” p.1.



The labelled IN RAMP opens into a grey fire tender path/driveway beside the adjacent core block.

From the approved drawing comparison: “GROUND STILT PLAN AREA CALCULATION _ PARKING PLAN” p.1.

There is 54,082 square metres of building allowed on this site that has not been built

Start with where that number comes from, because it matters. The list of areas on the master plan prints a line called "Spare" and puts 54,082 sq.m against it. That is the drawing's own word, not mine. Now read the two lines above it. They do not give the same answer. The total floor area allowed is given as 158,437.708 square metres. The floor area proposed is 118,581.626. Take one away from the other and you get 39,856.082 square metres. So the same list carries a printed spare figure, and it also carries a gap between what is allowed and what is proposed, and the two do not agree. I am not going to tell you which one is right, because the approved papers do not settle it.

What the list does prove, on either number, is this. The builder has not proposed everything the approval allows on this land. The same list shows 808 main units required against 728 proposed. Permission that has not been used means there is room to add built area on this same site later. It does not mean they will do it. But it is in the approved papers, in their own figures. And if it is ever used, it gets built next to homes that people have already bought and moved into.

There is a second point that leads to the same question. The demarcation plan shows one outer site boundary around the group housing project, with numbered pieces of land inside it: 24, 25, 5, 4, 6, 14, 16W, 21V, 15V, 13V, 8V. If the marketing shows you facilities or open land that lie outside the marked registered area, they are not part of what is being sold to you under this registration.

What to do about this. It is three sentences at the sales desk. Ask for the demarcation plan, and have the seller mark on it the boundary of what is promised under this registration and what is being held back. Ask them to state, in writing, the correct spare floor area figure for this site, and whether the builder means to use it here. Then ask for a clause saying that no further building will be done inside the marked area beyond the approved plans. You may not get it. Ask anyway. And if the answer is no, then you now know that building work next to your home after you move in is a real possibility and not a fear you invented. That is a reason to prefer a tower that faces inward, away from the open pieces of this site, over one that faces them.

SITE PLAN(SUB)_400.dwg

GH_9.56875 ACRES-SECTOR 49 GURGAON

ABSTRACT		(All Areas in Sq.Mtrs)		
(INTENSE ZONE) 500MTRS	4.533	ACRES	18344.37	Sq.m
(TRANSITION ZONE) 800MTRS	5.03575	ACRES	20378.92	Sq.m
9% ADDIONAL FAR ON SITE			3463.10	Sq.m
Net planned Area	9.568750	ACRES	38733.30	Sq.m

PARAMETERS FOR HOUSING	TOTAL SITE Permissible					Proposed		Spare
	4.533 @ 3.5	5.03575 @ 2.5	9% GREEN FSI	Total				
	Sq.Mt	Sq.Mt	Sq.Mt	Sq.Mt	Percentage	Sq.Mt		Sq.Mt
F.A.R.	64205.299	50947.312	3485.097	118637.708	306.37%	118581.626	306.235%	54.082
Ground Coverage				15469.318	40.00%	15480	39.98%	9.679
						Required	Proposed	
Total No. of Main Units-minimum						800	728	
Total No. of Main Units-maximum						0		
Total No. of Main Units-proposed							728	
No. of Units (EWS)-15% of Main Units					Units	109.471	109	
No. of Servant Rooms(Min. 10% of Main Units)					Units	73	212	

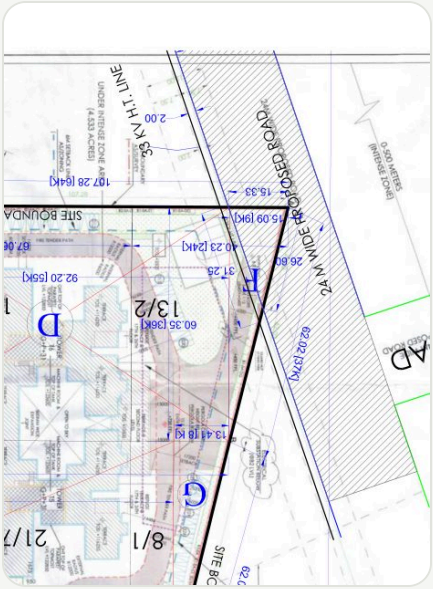
DENSITY (No. of persons per Acre)	500 MTRS_600 ±10%_540-660	800 MTRS_430 ±10%_387-473	Proposed	
DENSITY	Minimum population	Maximum population	No. of Persons	Density
500 MTRS_600 ±10%_540 PPA-660PPA	2447.820	2991.780	4402.000	460
800 MTRS_430 ±10%_387PPA-473PPA	1948.835	2381.910		
Range (No. of Persons)	4396.655	5373.690		
Range (Density)	459.481	561.587		
Proposed (No. of Persons)	4402.000			

0.5 Car per to 100 Sq.M of CA

TOTAL E.C.S. ON SURFACE@ 23
TOTAL AREA AT STILTS/PODIUM
TOTAL SERVICE AREA & CUTOU
E.C.S. PROVIDED ON STILT/POD
TOTAL NUMBER OF CAR PARKS
TOTAL AREA AT BASEMENT B1
TOTAL SERVICE AREA & CUTOU
E.C.S. PROVIDED ON BASEME
PROVIDED NUMBER OF CAR P
TOTAL AREA AT BASEMENT B2
TOTAL SERVICE AREA & CUTOU
E.C.S. PERMISSIBLE ON UPPER
TOTAL NUMER OF CAR PARKS
TOTAL CAR PARK
RESERVED PARKING FOR CON
SQ.Mtrs on Site
RESERVED PARKING FOR NURS
RESERVED PARKING FOR EWS
20% OF THE TOTAL CAR PARKS
20% DISTRIBUTED IN GROUND FLOO
GROUND FLOOR
BASEMENT (B1)
BASEMENT (B2)
TOTAL

The FAR row gives total permissible FAR as 158437.708 sq.m and proposed/achieved FAR as 118581.626 sq.m, with a FAR percentage shown as 306.235 and spare FAR shown as 54082 sq.m.

From the sanctioned sheet titled “MASTER PLAN & AREA STATEMENTS_SITE PLAN”, copied here exactly as the sheet prints it.



The heavy black demarcation boundary encloses the group-housing layout area labelled as under RERA, with the visible area note reading 4.535 acres.

From the sanctioned sheet titled “SUPERIMPOSED DEMARCATION PLAN ON APPROVED LAYOUT PLAN”, copied here exactly as the sheet prints it.

GH_9.56875 ACRES-SECTOR 49 GURGAON

ABSTRACT (All Areas in Sq.Mtrs)

(INTENSE ZONE) 500MTRS	4.533	ACRES	18344.37	Sq.m
(TRANSITION ZONE) 800MTRS	5.03575	ACRES	20378.92	Sq.m
9% ADDITONAL FAR ON SITE			3485.10	Sq.m
Net planned Area	9.568750	ACRES	38723.30	Sq.m

PARAMETERS FOR HOUSING	TOTAL SITE Permissible					Proposed		Spare
	4.533 @ 3.5	5.03575 @ 2.5	9% GREEN FSI	Total				
	Sq.Mt	Sq.Mt	Sq.Mt	Sq.Mt	Percentage	Sq.Mt		Sq.M.
F.A.R.	64206.299	50947.312	3485.097	118637.708	306.37%	118581.626	306.23%	56.082
Ground Coverage				15489.318	40.00%	15480	39.98%	9.679
						Required	Proposed	
Total No. of Main Units-minimum						808	728	
Total No. of Main Units-maximum						0		
Total No. of Main Units-proposed							728	
No. of Units (EWS)-15% of Main Units					Units	128.471	129	
No. of Servant Rooms(Min. 10% of Main Units)					Units	73	257	

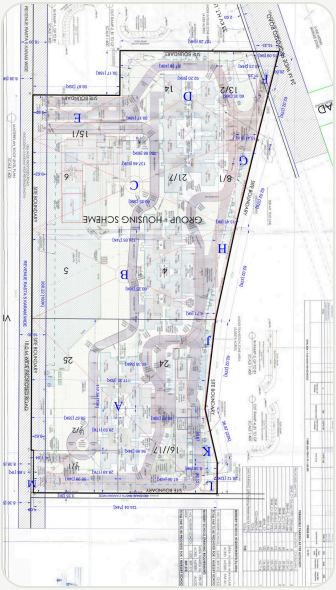
DENSITY (No. of persons per Acre)	500 MTRS_600 ±10%_540-660	800 MTRS_430 ±10%_387-473		Proposed	
DENSITY	Minimum population	Maximum population		No. of Persons	Density
500 MTRS_600 ±10%_540 PPA-660PPA	2447.820	2991.780		4402.000	460
800 MTRS_430 ±10%_387PPA-473PPA	1948.835	2381.910			
Range (No. of Persons)	4396.655	5373.690			
Range (Density)	459.481	561.587			
Proposed (No. of Persons)	4402.000				

PARKING		
	0.5 Car up to 100 Sq.M of CA 1 Car inbetween 100-150 Sq.M. of CA.	1.5

TOTAL E.C.S. ON SURFACE@ 23
TOTAL AREA AT STILTS/PODIUM
TOTAL SERVICE AREA & CUTOU
E.C.S. PROVIDED ON STILT/POI
TOTAL NUMBER OF CAR PARKS
TOTAL AREA AT BASEMENT B1
TOTAL SERVICE AREA & CUTOU
E.C.S. PROVIDED ON BASEME
PROVIDED NUMBER OF CAR P
TOTAL AREA AT BASEMENT B2
TOTAL SERVICE AREA & CUTOU
E.C.S. PERMISSIBLE ON UPPER
TOTAL NUMER OF CAR PARKS
TOTAL CAR PARK
RESERVED PARKING FOR CON
SQ Mtrs on Site
RESERVED PARKING FOR NURS
RESERVED PARKING FOR EWS
20% OF THE TOTAL CAR PARKS
20% DISTRIBUTED IN GROUND FLOO
GROUND FLOOR
BASEMENT (B1)
BASEMENT (B2)
TOTAL

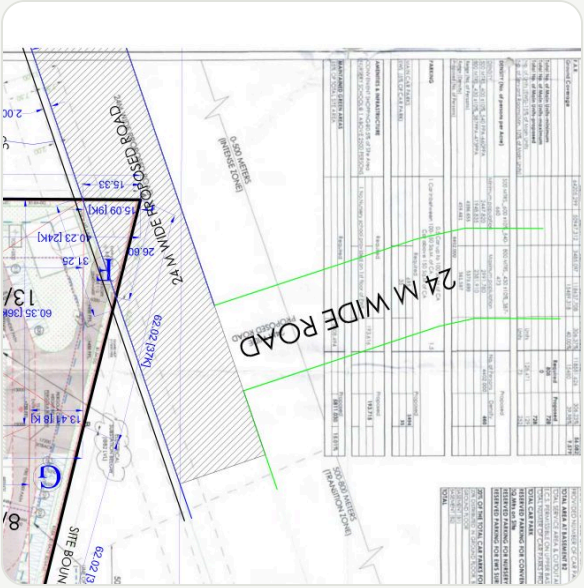
The same area statement gives total main units proposed as 728, with the minimum required count shown as 808.

From the sanctioned sheet titled “MASTER PLAN & AREA STATEMENTS_SITE PLAN”, copied here exactly as the sheet prints it.



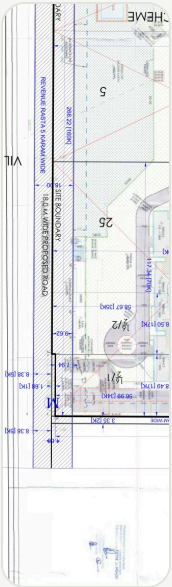
Towers/blocks marked A, B, C, D, E, F, G, H, J, K and L are drawn inside the heavy black demarcation boundary.

From the sanctioned sheet titled “SUPERIMPOSED DEMARCATION PLAN ON APPROVED LAYOUT PLAN”, copied here exactly as the sheet prints it.



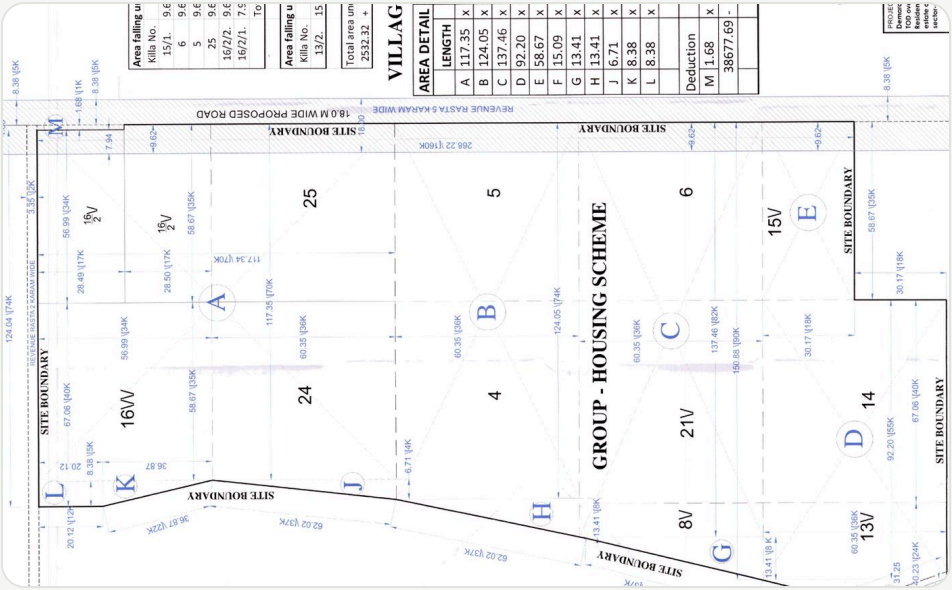
The 24 m wide proposed road is outside the demarcation boundary along the right/top edge of the registered project.

From the sanctioned sheet titled “SUPERIMPOSED DEMARCATION PLAN ON APPROVED LAYOUT PLAN”, copied here exactly as the sheet prints it.



The revenue rasta / 18.0 m wide proposed road strip is outside the demarcation boundary along the left/lower side of the layout.

From the sanctioned sheet titled “SUPERIMPOSED DEMARCATION PLAN ON APPROVED LAYOUT PLAN”, copied here exactly as the sheet prints it.



The demarcated project area is shown as a single outer site boundary containing multiple numbered internal land pieces, not as one unnumbered standalone piece.

From the sanctioned sheet titled “DEMARCATION PLAN”, copied here exactly as the sheet prints it.

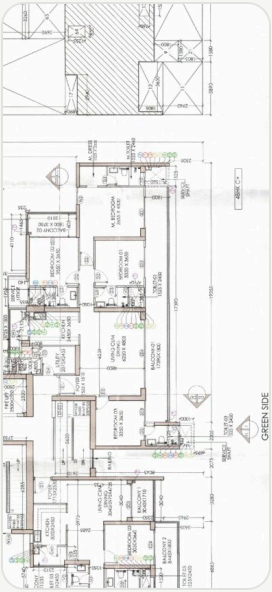
What the side names on the plan are worth — and what not to pay extra for

On the normal floor plan of T1 there is a note printed just outside the right edge of the floor, next to the rooms marked TYPE 1 3BHK-C. It reads GREEN SIDE. Those are words on an approved drawing and not a sales line, and that counts for something. But be careful what you buy with it. The sheet prints the words. It does not show you what that side looks out on. And nothing in the approved papers says this is the only green-facing edge of the project. Treat it as a name worth asking about. Do not treat it as a view you have already paid for.

The plan is firmer about T3 and T4. On their second floor drawing the architect has named the two long sides ROAD SIDE and PODIUM SIDE. Those are the words the drawing uses for these two towers, and no green side is printed on it. So if a sales desk calls a flat in T3 or T4 green-facing and asks extra money for the view, ask them to point at the word on the drawing that supports it. If the side they are selling you is the one printed ROAD SIDE, pay for the flat and not for the sales talk. A side open to the road should not cost the same as a quieter side that the drawings actually name.

And ask which floors that drawing actually covers. The T1 sheet names itself for the 3rd to 16th floors, the 18th to 25th floors and the 27th to 31st floors. Those are the floors it is drawn for. If they offer you anything outside that run, including the 1st, the 2nd, the 17th or the 26th, ask for the drawing of that exact floor before you agree a price. The drawing they are showing you is not the drawing for that level.

The drawings give you the names and the floor layout. They do not tell us which flat is unsold, and they do not tell us what any of it costs. Take the sheet to the sales desk and have them mark on it the flat they are offering, so that the name and the flat are the same thing on paper.



The Tower T1 typical-floor plan shows the exterior edge beside the Type 1 / 3BHK-C stack facing a labelled green-side condition.

From the sanctioned sheet titled “TYPICAL FLOOR PLAN & AREA CALCULATION TOWER T1 & T2”, copied here exactly as the sheet prints it.

WHAT TO CHOOSE

Which part of the site your tower stands on — near the gate, or well inside

This is the choice that lasts longer than everything else in this report. You can paint a kitchen again. You cannot move your tower.

Start with the building most people never think to ask about: the one with the EWS flats and the nursery school. EWS means economically weaker section, the low-cost homes for poorer families. Its own cut-through and front-view drawings take it up floor by floor. The ground floor is at +450. The first floor of the nursery school is at +3400. The EWS homes are above that. The floor names run up to a 10th floor level at +30050, with a mumty above that, the small room over the stairs on the roof, and the top of the parapet wall at +35000. A second sheet for the same building draws it as eight floors above the ground, and gives the EWS living height as 26950. It is drawn as two wings, each divided into many parts along its length, with a gap between them holding the stairs, lifts and services. Along the bottom, at the front, runs the long low nursery school.

Now turn those numbers into what your eye will actually see. The school part of the building is only two levels high. Its upper slab sits at about +6350, which is about six and a half metres up. The EWS wings, where people live, carry on up to a parapet wall at about thirty-five metres.

The school gate matters too. The ground floor sheet puts the way in and the way out, for both the EWS homes and the school, on the upper side of the building. They open straight onto a driveway that the drawing marks as 24 metres wide, with two-wheeler parking, an open space at the entrance and space for vehicles to turn drawn around it. A school gate runs by the clock. Many people arrive together in the morning, and again at home time, every working day.

So here is the practical order, before you look at even one floor plan.

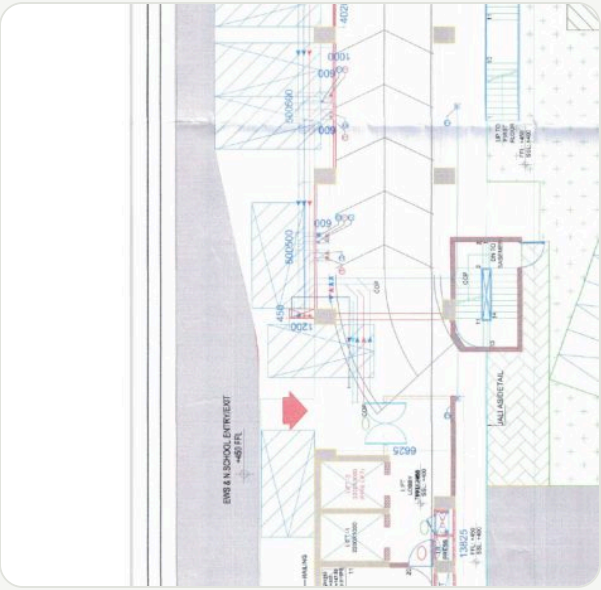
Choose in this order:

1. A tower position that faces inward, above the podium. What you will always see is this project's own towers, roads and garden. Ask for this position first. If they are charging extra for any position at all, this is the one worth paying extra for.

2. A side that faces the school and the EWS building. Above the top of the EWS parapet wall, the view opens out. Below that, you are looking at a neighbouring building, and at the cars dropping and picking up people on that 24-metre driveway. If you take a low flat on this side, ask for a lower price. Do not pay the same as for a flat facing inward. If you are thinking about it, walk the site once at 8am on a working day before you decide what it is worth to you.

3. A side facing the service edge or the entry edge of the site. You can live there, and it should be the cheapest of the three. Do not accept it at the same rate as a flat facing inward.

And whichever position you settle on, the floor still matters on top of that. Site Section AA reads like this, from the bottom going up. Basement 02 is about 7.5 metres below the road. Basement 01 is about 3.6 metres below it. Then comes the stilt parking level at +650, the ground floor lobby at +750 and the podium at +950. Those last three are all above the level of the road.

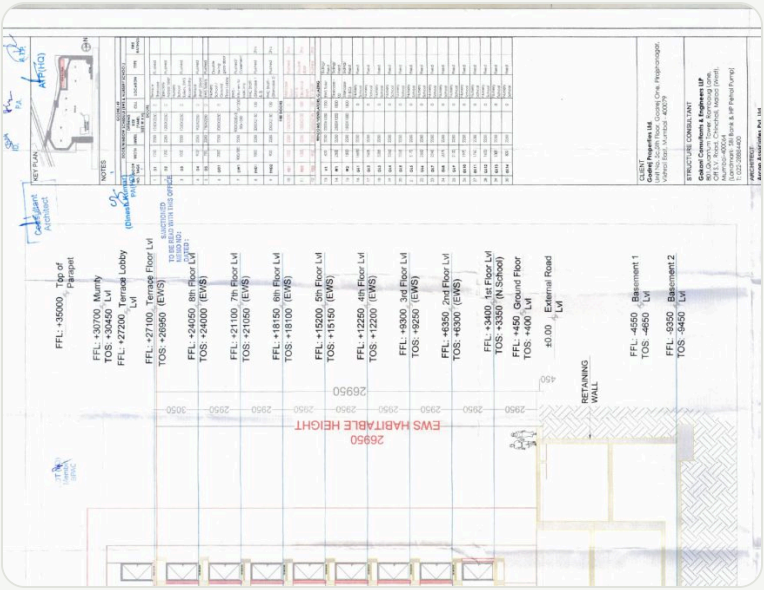


The EWS and nursery-school entry/exit is marked at the upper side of the school/EWS ground-floor plan, opening toward the adjoining 24 m school driveway.

From the sanctioned sheet titled “GROUND FLOOR PLAN & AREA DIAGRAM EWS & NURSERY SCHOOL”, copied here exactly as the sheet prints it.

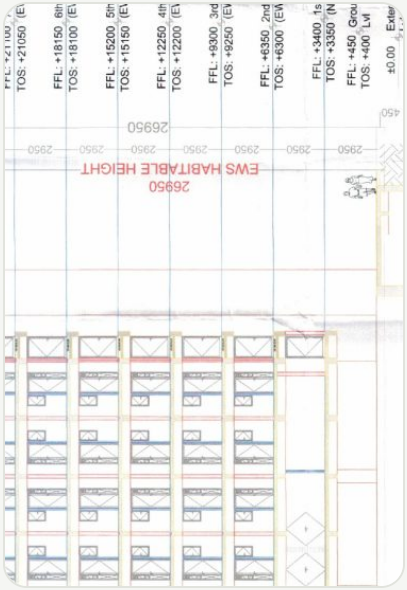
The plan shows surface parking/driveway circulation around the EWS and nursery-school block, including labels for two-wheeler parking and driveway/turning geometry.

From the sanctioned sheet titled “GROUND FLOOR PLAN & AREA DIAGRAM EWS & NURSERY SCHOOL”, copied here exactly as the sheet prints it.



The visible section/elevation level schedule carries the EWS block up to a 10th-floor level, with a mumty above and top of parapet at FFL +35000.

From the sanctioned sheet titled “EWS & NURSERY SCHOOL ELEVATION & SECTION”, copied here exactly as the sheet prints it.

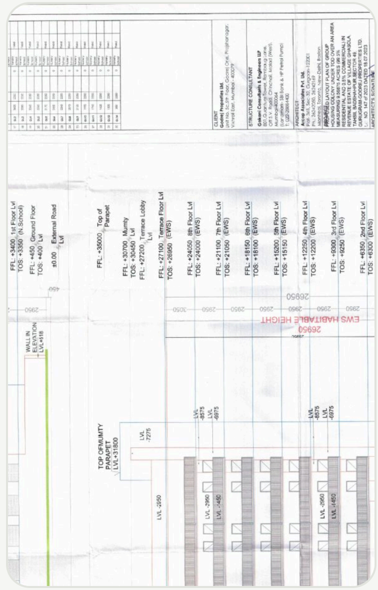


The section explicitly marks the EWS habitable height as 26590.

From the sanctioned sheet titled “EWS & NURSERY SCHOOL ELEVATION & SECTION”, copied here exactly as the sheet prints it.

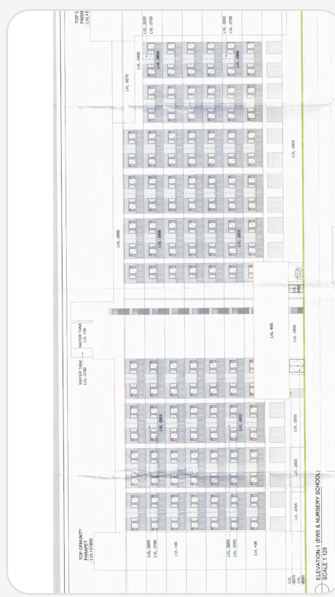
The nursery-school first-floor roof/upper slab line sits at the 2nd-floor EWS level, FFL +6350 / TOS +6300, with the nursery-school floor below at FFL +3400 / TOS +3350.

From the sanctioned sheet titled “EWS & NURSERY SCHOOL ELEVATION & SECTION”, copied here exactly as the sheet prints it.



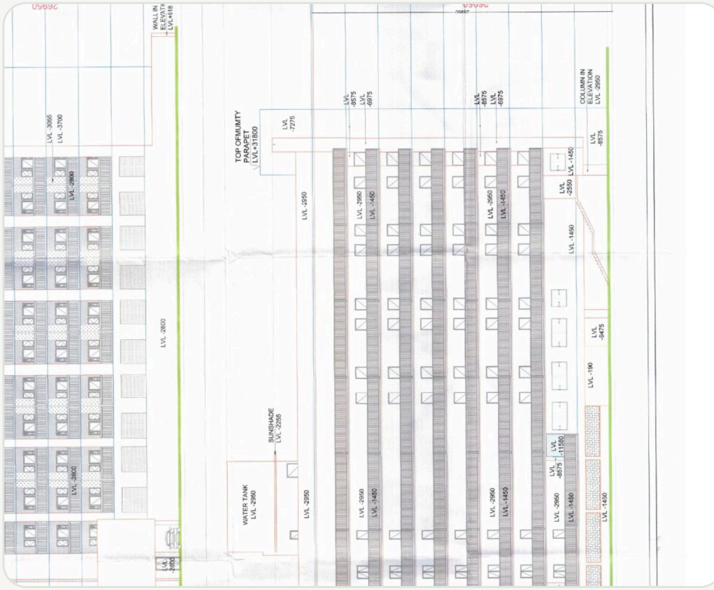
The EWS block is shown as an eight-floor residential block above ground, with floor labels running from 1st Floor to 8th Floor and an EWS habitable height of 26950.

From the sanctioned sheet titled “ELEVATIONS AND SECTIONS EWS & NURSERY SCHOOL”, copied here exactly as the sheet prints it.



The EWS footprint/elevation mass is drawn as two separated multi-bay vertical wings with a central service/core gap between them in Elevation-1.

From the sanctioned sheet titled “ELEVATIONS AND SECTIONS EWS & NURSERY SCHOOL”, copied here exactly as the sheet prints it.



A long nursery-school/low-rise frontage is shown at the base beside/below the EWS elevation, with labels for Ground Floor and 1st Floor marked as N-School.

From the sanctioned sheet titled “ELEVATIONS AND SECTIONS EWS & NURSERY SCHOOL”, copied here exactly as the sheet prints it.

Elevation-3 shows the EWS and nursery-school frontage as a long linear block with repeated horizontal bands, with the nursery-school side at the lower/front portion and the tall residential towers not shown on this sheet.

From the sanctioned sheet titled “ELEVATIONS AND SECTIONS EWS & NURSERY SCHOOL”, copied here exactly as the sheet prints it.

The supplied S53 sheet does not visibly establish the EWS/school block's exact site position relative to the residential towers.

From the sanctioned sheet titled "ELEVATIONS AND SECTIONS EWS & NURSERY SCHOOL", copied here exactly as the sheet prints it.

T3 and T4: what the approved drawings do show about these two towers, and what they do not

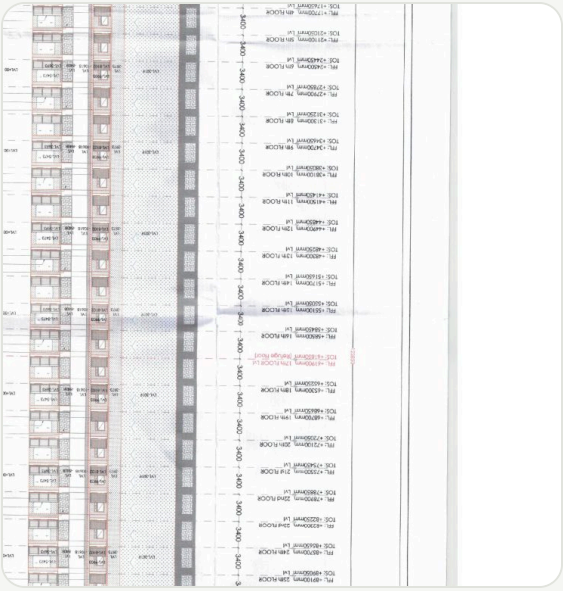
Here is what the approved front-view drawing for these two towers actually sets out, so you do not have to rely on a number somebody says to you at the desk.

How tall they are. The list of levels starts with the podium, the stilt and the lobby. Then it picks up the 1st floor, and from there it climbs in steps of 3,400 mm to a 31st floor, and then the terrace, with the highest level marked +122,850. That is the approved top of T3 and T4. If somebody offers you a floor above the 31st in either tower, ask which drawing it comes from before you pay anything for it.

Two of the floors in that run are refuge floors, marked in red on the same list: the 17th and the 26th. Treat them exactly as this report treats refuge floors in the other towers. You can live there perfectly well, but do not buy at the same rate as a normal floor in the same tower. Move to the 16th or the 18th, or the 25th or the 27th, if you can.

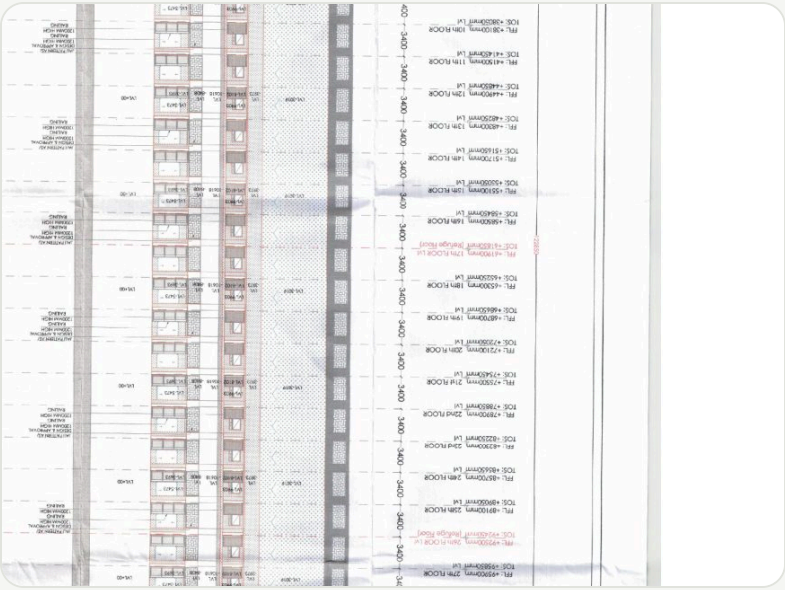
The side walls of these towers are not blank walls, and that is genuinely good news. People worry, and they are right to worry, that the side of a tower turns out to be a service wall with nothing to look out of. On these drawings the side walls are drawn with windows and doors repeating up the building, with balconies and railings and jali panels. The rooms named on that side include toilets and kitchens. So a flat on the side of T3 or T4 does have real openings.

The useful next question is which rooms those openings belong to. A window for a toilet or a kitchen is worth much less to you than a living room or a bedroom on that side. Ask for the floor drawing of the exact flat they offer you. Check which rooms sit on the outer side, before you agree to pay extra for an "open" side.



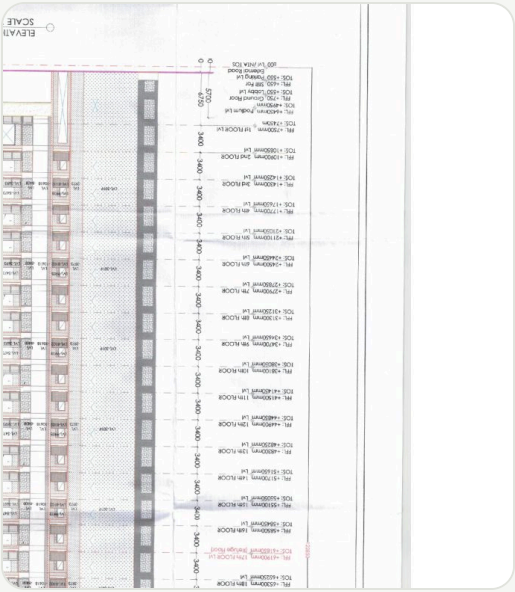
Two refuge floors are expressly marked in the elevation schedule.

From the sanctioned sheet titled “ELEVATION 2 & 4 TOWER T3 & T4”, copied here exactly as the sheet prints it.



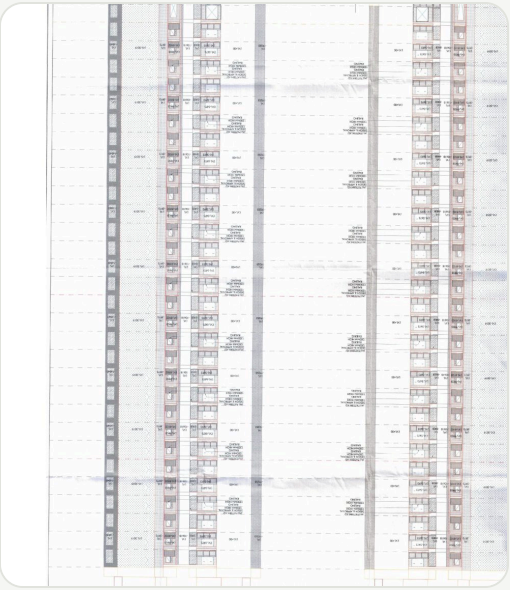
The elevation level schedule runs up to 31st floor, then Terrace, with a separate top-most level marker.

From the sanctioned sheet titled “ELEVATION 2 & 4 TOWER T3 & T4”, copied here exactly as the sheet prints it.



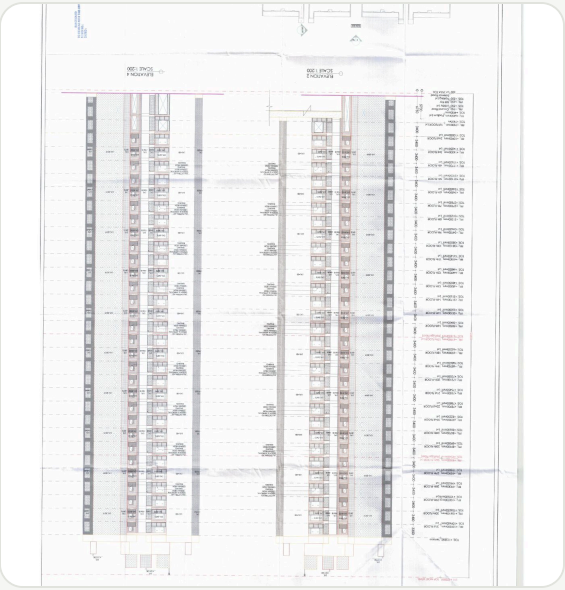
The lower part of the same level schedule starts from podium/stilt/lobby and 1st floor before continuing upward in 3400mm floor intervals.

From the sanctioned sheet titled “ELEVATION 2 & 4 TOWER T3 & T4”, copied here exactly as the sheet prints it.



The shown side elevation faces are not drawn as uninterrupted blind walls; they show repeated apartment/service-face openings and balcony/railing annotations.

From the sanctioned sheet titled “ELEVATION 2 & 4 TOWER T3 & T4”, copied here exactly as the sheet prints it.



No clearly readable label naming a service shaft is visible on the supplied side-elevation crops.

From the sanctioned sheet titled “ELEVATION 2 & 4 TOWER T3 & T4”, copied here exactly as the sheet prints it.

WHAT NOT TO PAY FOR

What the "shopping" here really is, and where the gate sits

If the sales talk includes shops, and asks extra money for them, this is the part to read twice.

The shopping here is eight small shops of about 202 sq ft each. They are small units, and the approved papers price them at about 2.3 times the rate per square foot of the flats.

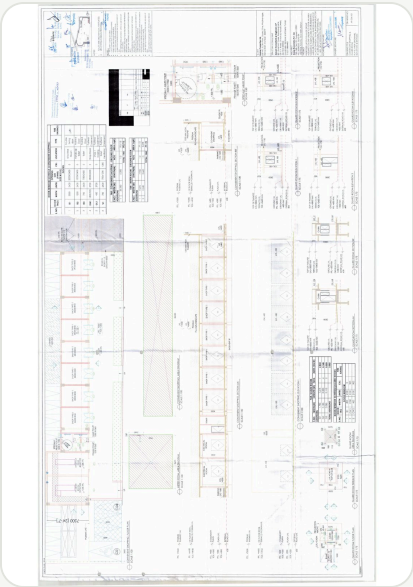
The approved drawing for the convenient shopping building gives the same thing as floor area, and the figure is small: 193.715 sq m on the ground floor and 77.172 sq m on the first floor.

Two things follow. If they are selling you a flat, and the rate has extra money in it for "integrated retail" or for convenience, that extra money is for eight small shops, and you have every right to refuse to pay it. And if you are actually thinking of buying one of the shops, then the rate in the approved papers being more than twice the rate for flats is the number to bargain against, out loud, right at the start.

The side a tower faces decides whether your address sits at the gate and substation edge of the site, or well inside it. That is not a detail you can change after you get the keys. It is the first thing to settle: before the floor, before the side, before the type of flat.

The convenient shopping area tables state FAR area of 193.715 sq m on ground floor and 77.172 sq m on first floor.

From the sanctioned sheet titled “CONVENIENT SHOPPING, GUARD ROOM, AREA DIAGRAM ELEVATION SECTIONS”, copied here exactly as the sheet prints it.



No residential-block area statement or tower-name area table is visibly readable on this admitted sheet.

From the sanctioned sheet titled “CONVENIENT SHOPPING, GUARD ROOM, AREA DIAGRAM ELEVATION SECTIONS”, copied here exactly as the sheet prints it.

WHAT TO CHOOSE

The smaller flat has the deeper living room

Two metres of depth in the room where you actually sit is a lot. It is the difference between a sofa arrangement that works and one that is pushed up against a wall.

So do not assume that the bigger number on the price list buys you the better living space. If you are choosing between the two-bedroom flat and the bigger one, and the extra money is going mostly into bedrooms you will use less, then the smaller flat is a genuinely good buy here and not a compromise. And if you do want the bigger one, here is a fair and exact point to bring the price difference down with: you are paying more and getting a less deep main room. Ask for the plans of both flats with the measurements written on them, put them side by side, and measure that one wall.

GET IN WRITING

The permissions behind the height, and the questions the land papers leave open

Four things in the approval file matter directly to what you sign. None of them is a reason not to buy. Each one is a reason to get a particular piece of paper attached to your agreement, instead of taking a spoken assurance.

The height permission rests on figures the builder himself gave. The airport height clearance fixes the top height allowed. It works from a ground height that the applicant declared and not one the office measured. The clearance says clearly that it becomes void if the location figures and the ground height turn out to be different from what was submitted. Our copy of that extract is unclear, so the exact figures need to be checked against the original. Ask for the clearance and its conditions to be attached to your agreement, and ask them to confirm the approved top height of your tower against it.

The same clearance records that nobody will ask for money because of noise or shaking from aeroplanes. The applicant accepted that condition. So the papers themselves accept that aeroplanes fly near this site. It does not mean the flat is noisy. If you are paying extra for a high floor and a quiet view, spend an hour at the site in the evening before you agree to pay that extra.

The land papers name one piece of land. A clarification in the file names a single piece of land and gives its measured area. It does not say whether that covers the whole project or only a part of it. And the recorded purpose seems to point to a category used for land near public transport, called transit-oriented development. That category has its own rules for crowding, and its own rules for how much floor area may be built. The document does not spell those rules out. Both points go into the same request. Ask for the schedule of land for this registration. Ask for the zone and the crowding category that apply to your tower, written into the allotment letter.

Trees and the approach road. The land is not recorded as forest, but it comes under a government notice that protects the trees on it. So removing any tree needs permission from the forest officer. That can limit the garden work, and any later change to the layout. It is worth knowing if a green patch outside your window is part of why you are buying. Separately, the certificate leaves it open whether the way into the site crosses forest land. If it does, the approach road needs its own separate clearance. Ask the seller to confirm in writing that the approach road, as it is built, needs no further clearance. You cannot fix an access road from inside your flat.

WHAT NOT TO PAY FOR

The club and the pool sit on the lower left edge, below T4, T5 and T6

"Close to the club" sounds like one simple thing in a brochure. On the approved layout it is one particular corner of this site, and knowing where it is changes which side of which tower you ask for.

The drawing puts the club and the swimming pool on the lower left, the south-west part of the plot. They sit directly below the T6, T5 and T4 side of the project, not below the T1, T2 and T3 edge. The road inside the project and the fire engine path run beside those same towers. So T5 and T6, the towers this report tells you to buy for height, are also the towers whose lower side faces the club, the pool and the service route that must be kept clear. That is not a reason to avoid them. It is a reason to be exact about which side you take.

The club building itself has two quite different sides, and the drawings name them. On the master plan it sits inside the layout, with the grey road inside the project running in a loop directly along one side. The club's ground floor plan puts the place where cars stop to drop people, the way in and the way out, all on that road side. The swimming pool and its deck sit outside the club rooms, on the opposite side.

Now the size of it, because this is where the sales talk about a clubhouse usually runs ahead of the papers. The approved club area table adds up to 4,110.755 square metres of club across all four levels, which is about 44,000 square feet. It splits like this: 1,557.547 at the stilt and ground level, 1,245.967 on the first floor, 1,004.530 on the second and only 302.711 on the third. Note what the third floor is. The plan there shows an indoor activity area, a health bar and the changing rooms for men and for women. They sit next to a service terrace, a machine room and a stretch of open deck.

What is actually approved, floor by floor, is worth holding up against the brochure. The ground level has the place where cars stop to drop people, a lobby as tall as two floors, a community office, conference and meeting rooms, a pantry, an audio-visual room, a lounge, a library, a cafe lounge, a party hall and a kitchen. The first floor, which is 1,264.949 square metres on its own list of areas, has a lounge, a cards room, a pool room, indoor games, a play area for children, a music room and an activity hall, with decks and a balcony off them.

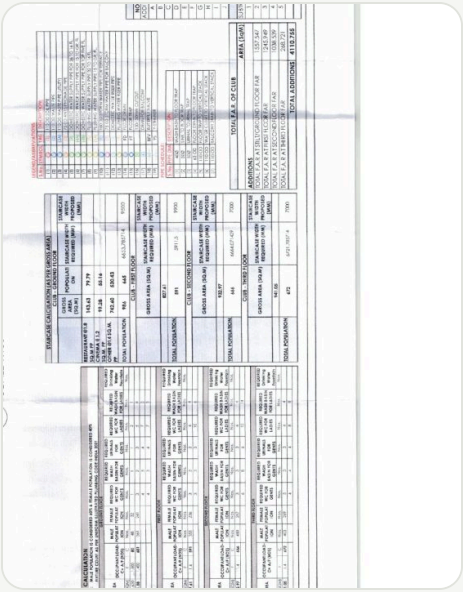
That is a real club, and it is in the approved papers. Use it as your checklist. If they sell you a facility as part of the clubhouse and it is not one of the rooms above, ask them where it has been approved.

So, in practice:

- If you want the club close, ask for a side that looks at the pool and the deck, not at the place where cars stop to drop people. One side is water and garden. The other is cars arriving and leaving all evening, and more so at the weekend.

- If you want to be away from traffic and machines, ask for a position that faces inward, away from that lower left edge. Flats set away from it are not beside the open area in front of the club, and not beside the fire engine route.
- Either way, have the sales desk point out which of the club's two sides your chosen flat looks at, on the plan for your actual floor. Being near the club is worth extra money on one side, and a lower price on the other, and they use the same word for both.

What the approved papers do not do is tie either side to a particular tower, a particular group of floors or a particular flat number. So use this as the question to settle about one specific flat. Do not use it on its own as a way of ranking the towers.



The club area table states the stilt/ground-floor club F.A.R. area as 1557.547 sq m, and the total F.A.R. of club across floors as 4110.755 sq m.

From the sanctioned sheet titled “STILT GROUND FLOOR PLAN & AREA DIAGRAM CLUB”, copied here exactly as the sheet prints it.

The enclosed amenity portion at stilt/ground level includes club drop-off, lobby/double-height lobby, community office, conference, pantry room, meeting room, audio & visual room, lounge, library, cafe lounge, party hall, kitchen and toilet/service rooms.

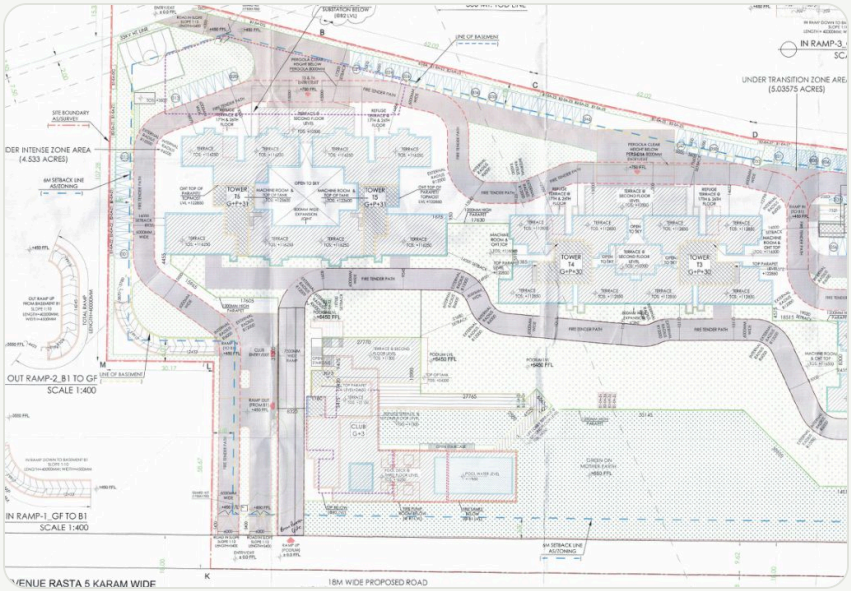
From the sanctioned sheet titled “STILT GROUND FLOOR PLAN & AREA DIAGRAM CLUB”, copied here exactly as the sheet prints it.

The right side of the first-floor club plan visibly sanctions an indoor games room, kids play area, music room, activity hall, store, deck, balcony and connected green/open areas.

From the sanctioned sheet titled “FIRST FLOOR PLAN & AREA DIAGRAM CLUB”, copied here exactly as the sheet prints it.

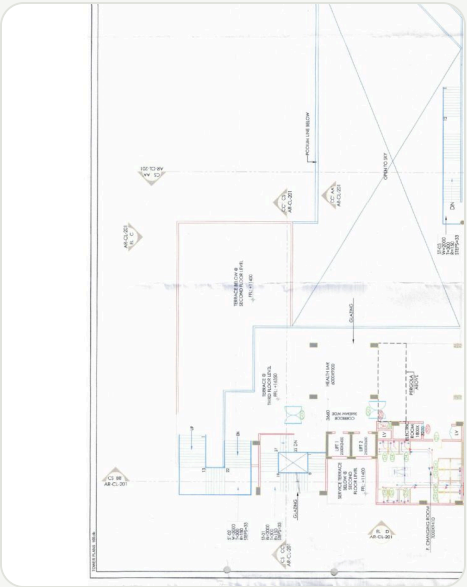
The visible plan does not show a parking bay layout within the club stilt footprint; visible non-amenity service labels include water meter room, service shaft and utility/toilet/service cores, while nearby green areas are labelled as open-to-sky or projection-above areas.

From the sanctioned sheet titled “STILT GROUND FLOOR PLAN & AREA DIAGRAM CLUB”, copied here exactly as the sheet prints it.



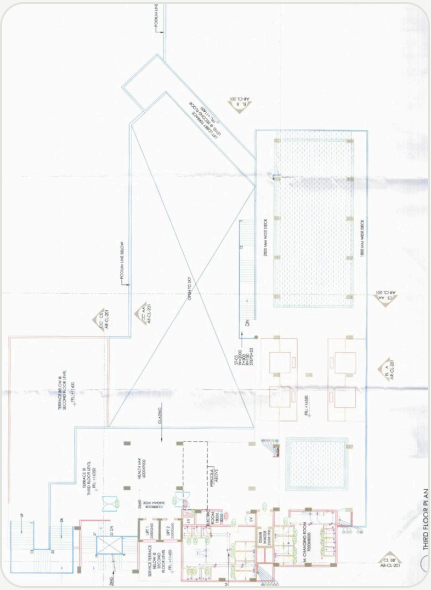
The club is placed on the lower-left/south-west part of the plotted plan, directly below the T6/T5/T4 side rather than below the T1/T2/T3 right edge.

From the sanctioned sheet titled “MASTER PLAN & AREA STATEMENTS_SITE PLAN”, copied here exactly as the sheet prints it.



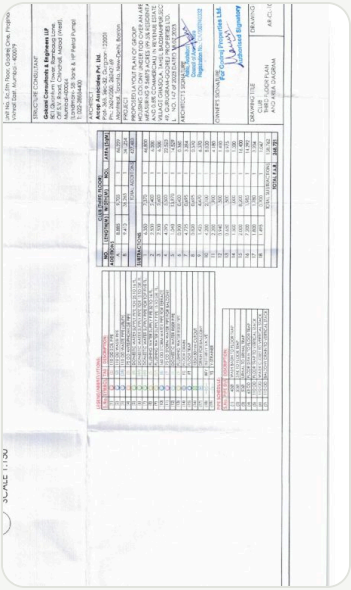
The third-floor club plan visibly lays out amenity/user spaces including an indoor activity area, a health bar, changing rooms and toilets, with circulation/service elements around them.

From the sanctioned sheet titled “THIRD FLOOR PLAN & AREA DIAGRAM CLUB”, copied here exactly as the sheet prints it.



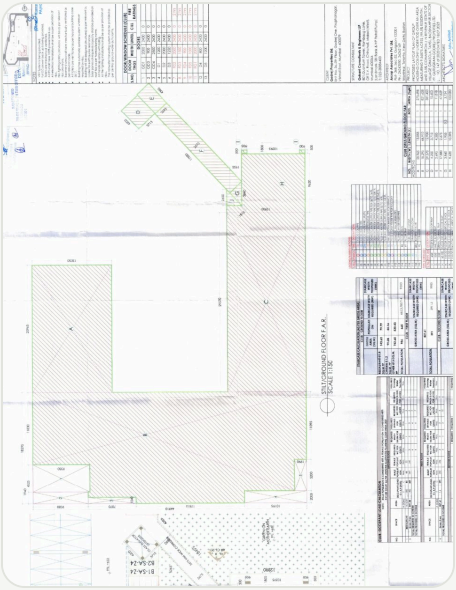
The plan also shows open/external deck and terrace-type areas on the third floor.

From the sanctioned sheet titled “THIRD FLOOR PLAN & AREA DIAGRAM CLUB”, copied here exactly as the sheet prints it.



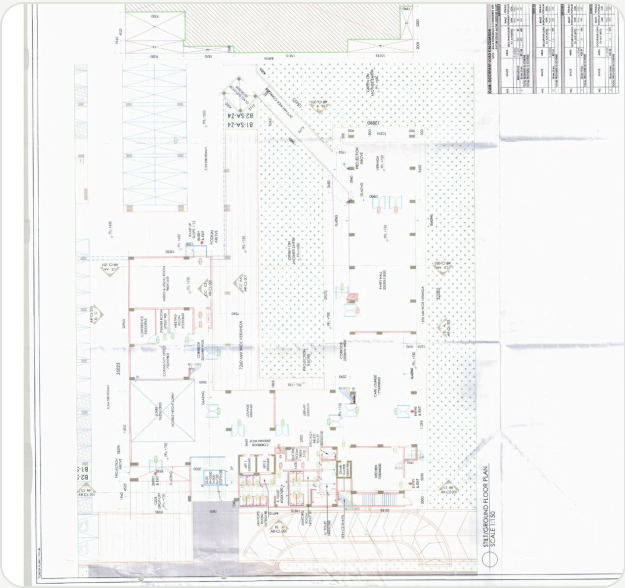
The area diagram table assigns the club third floor a total F.A.R. area of 268.721 after additions and subtractions.

From the sanctioned sheet titled “THIRD FLOOR PLAN & AREA DIAGRAM CLUB”, copied here exactly as the sheet prints it.



The stilt/ground area diagram shows the club footprint as multiple green-hatched area blocks labelled A through J, with large main blocks A, B, C and H connected by narrower links D, E, F, G, I and J.

From the sanctioned sheet titled “STILT GROUND FLOOR PLAN & AREA DIAGRAM CLUB”, copied here exactly as the sheet prints it.

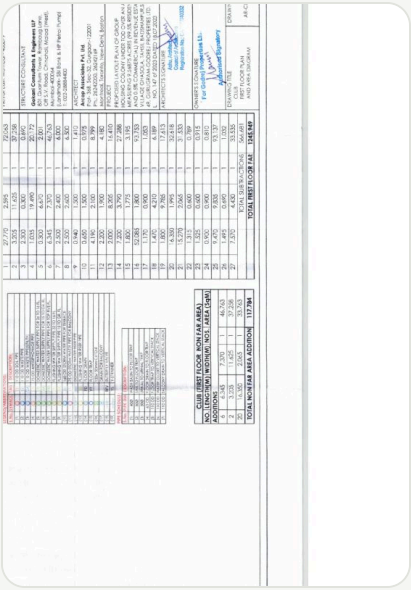


The stilt/ground plan also shows vehicular/circulation and open under-club elements: a 5.5 m driveway, a club drop-off with entry and exit arrows, gangway labels, a 7260 mm wide verandah and a 7500 mm wide verandah.

From the sanctioned sheet titled “STILT GROUND FLOOR PLAN & AREA DIAGRAM CLUB”, copied here exactly as the sheet prints it.

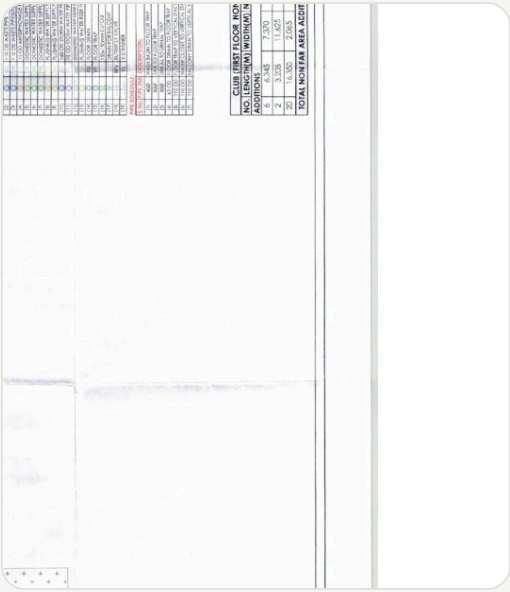
The club first-floor plan visibly sanctions a lounge, cards play room, pool room, staff toilet/service spaces, corridor/lobby and related wash/changing rooms on the left/central first-floor club layout.

From the sanctioned sheet titled “FIRST FLOOR PLAN & AREA DIAGRAM CLUB”, copied here exactly as the sheet prints it.



The club first-floor FAR area diagram states a total first-floor FAR area of 1264.949 sqm.

From the sanctioned sheet titled “FIRST FLOOR PLAN & AREA DIAGRAM CLUB”, copied here exactly as the sheet prints it.



The club first-floor non-FAR area table states a total non-FAR addition of 117.784 sqm.

From the sanctioned sheet titled “FIRST FLOOR PLAN & AREA DIAGRAM CLUB”, copied here exactly as the sheet prints it.

WHAT TO CHOOSE

How high you must be before you can see over the parking deck

This is the floor question that really matters here, and all three site cut-through drawings, AA, BB and CC, say the same thing about it.

There is a shaded band at the bottom of each tower. It carries the driveway, the basement ramp, the stilt parking and the podium parking area, and it is drawn with car symbols repeating across it. That band runs sideways past the face of the tower and carries on between the towers.

That is the part people miss. The parking deck is not a small patch at the front door. It goes past your windows and stretches across to the next tower. Height is what buys you a view here.

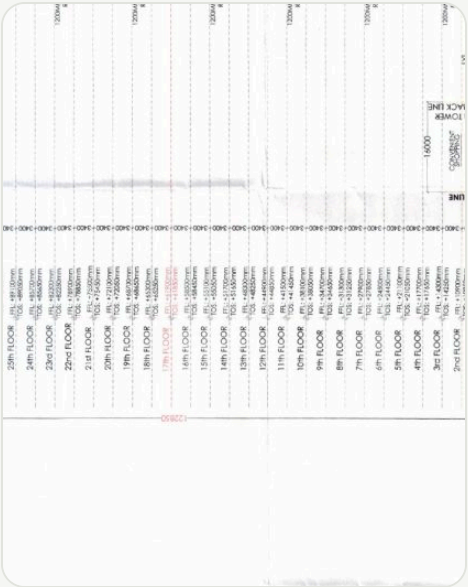
Section BB puts real numbers on the bottom of that. The stilt floor is drawn from +450 up to the first floor at +4,950, which is a clear height of about 4.5 metres. The finished ground at the towers sits 450 mm above the road, and that is the only difference in level the drawing gives you between your feet and the road outside. So on this cut, the first flats begin about five metres above the road: high enough to be off the footpath.

Across the same cut, the drawing carries a red measurement of about 39.7 metres over the open club and podium area between the two groups of towers. That is about as wide as a good public road, between you and the building facing you on that line. It is genuinely reassuring for privacy and daylight on the lower floors on that side. It is fair to ask the desk to show it to you for the exact side your flat looks out on.

On the same cut, that tower rises to a terrace at about +129,500, with a red note for the overall height beside it at about +126,250.

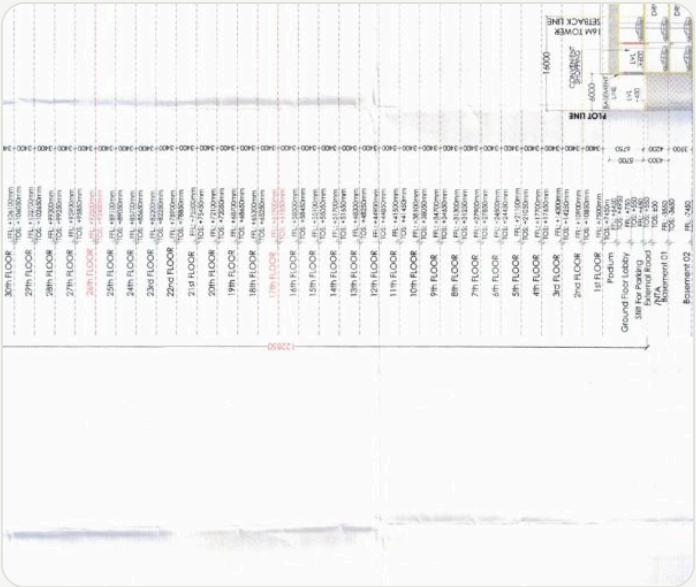
What these drawings do not do is fix the floor at which the deck stops mattering. They do not give you the clearance you need, and I am not going to invent one. Before you fix a floor, ask for three numbers in writing. One, the top level of the podium deck. Two, the height of the parapet wall and of the plants along its edge. Three, the height from one floor to the next in the tower. Put those together and you can work out the floor from which the deck drops out of your line of sight. Just as usefully, you can work out whether the edge of the deck has enough plants for a lower floor to be fine.

Until you have those numbers, the safe reading is the simple one. A low flat above the deck should be cheaper than the same flat higher up in the same tower, and it should not be sold to you as an open view. If you are buying low to save money, do it with your eyes open. That is a fair choice.



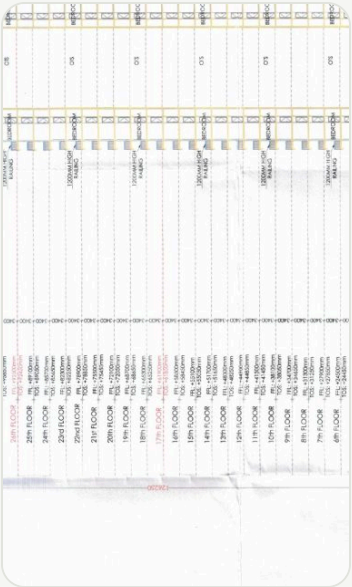
The first habitable floor is drawn above the podium/stilt/parking base, not directly at driveway or basement level.

From the sanctioned sheet titled “SITE SECTION AA”, copied here exactly as the sheet prints it.



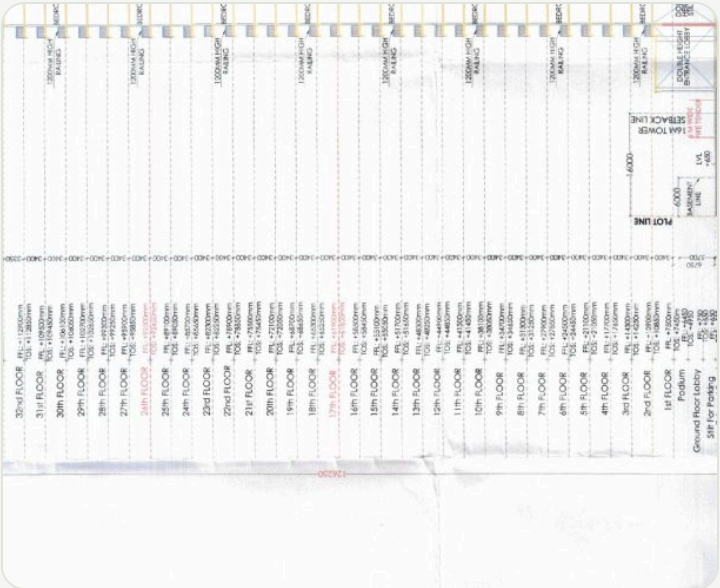
A deck/service surface extends horizontally away from the tower face along the section line.

From the sanctioned sheet titled “SITE SECTION AA”, copied here exactly as the sheet prints it.



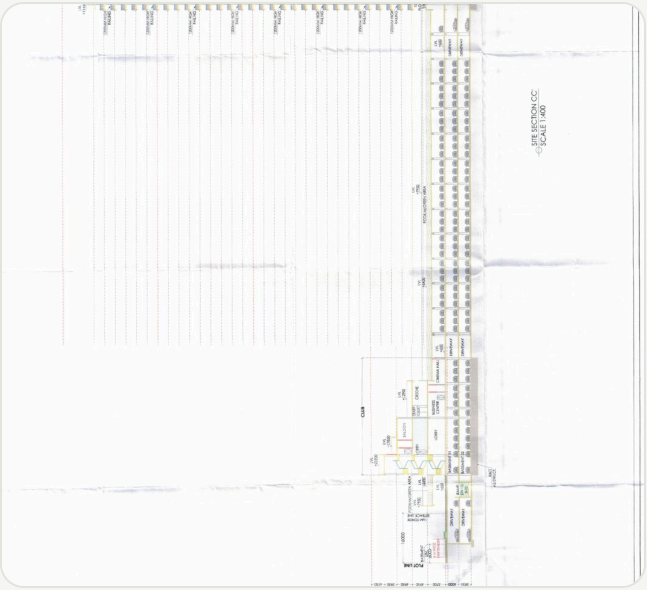
Section BB also shows basement levels, a lower-ground/stilt/podium base, and the first floor above that base.

From the sanctioned sheet titled “SITE SECTION BB”, copied here exactly as the sheet prints it.



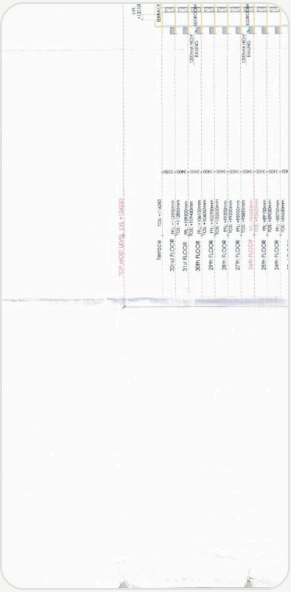
The sectioned base includes driveway/parking/ramp surfaces extending outside the tower footprint.

From the sanctioned sheet titled “SITE SECTION BB”, copied here exactly as the sheet prints it.



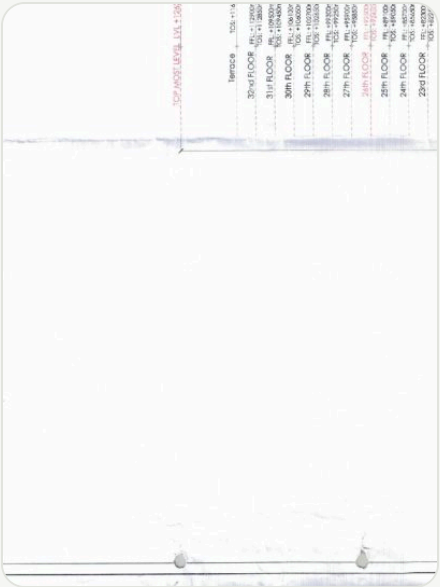
Section CC shows a long podium/parking deck continuing between and beyond tower bases.

From the sanctioned sheet titled “SITE SECTION CC”, copied here exactly as the sheet prints it.



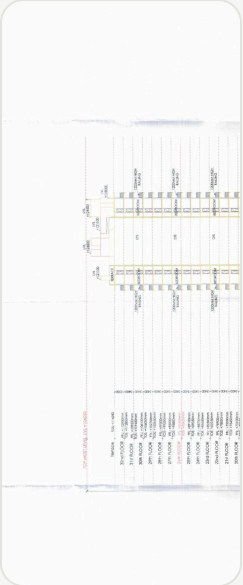
Along section BB, the stilt floor is labelled with a clear height of about 4.50 m, from level +450 mm to the first-floor level +4950 mm.

From the sanctioned sheet titled “SITE SECTION BB”, copied here exactly as the sheet prints it.



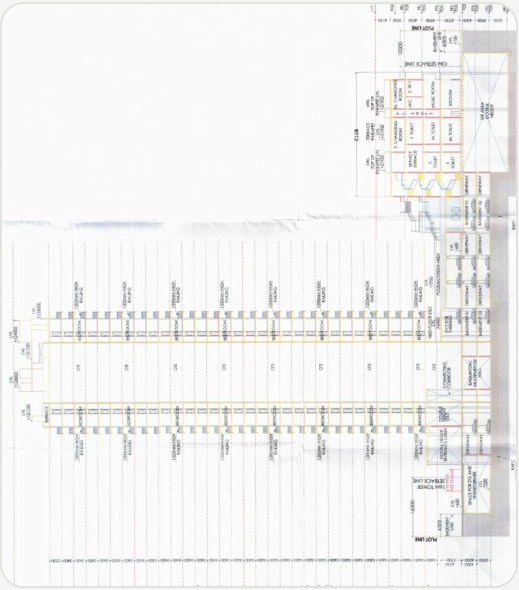
The finished ground / stilt level is shown 450 mm above the road level at this section.

From the sanctioned sheet titled “SITE SECTION BB”, copied here exactly as the sheet prints it.



The tower section shows habitable levels rising from stilt/ground through terrace, with the terrace level labelled about +129500 mm and a red overall-height note around +126250 mm.

From the sanctioned sheet titled “SITE SECTION BB”, copied here exactly as the sheet prints it.



The cut passes through two tower masses separated by an open gap/club-zone podium area; a red horizontal dimension over that gap is labelled about 39.7 m.

From the sanctioned sheet titled “SITE SECTION BB”, copied here exactly as the sheet prints it.

In T1 and T2, the 17th floor is the refuge floor — take the 16th or the 18th

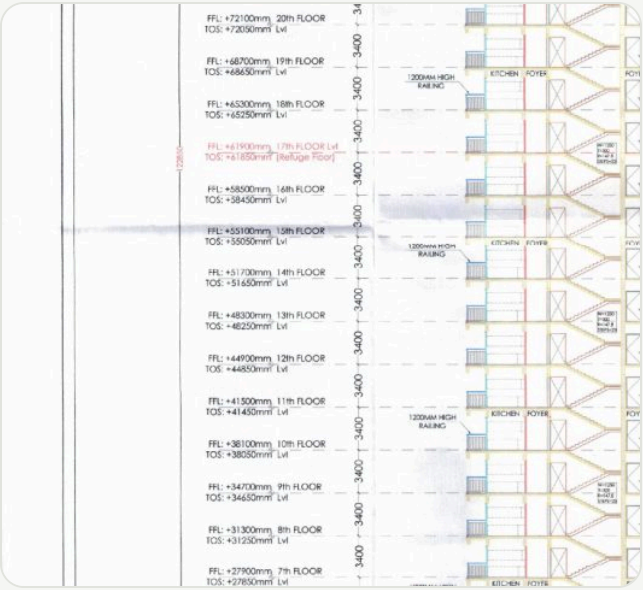
The approved drawings settle this one for you, so you do not have to take anybody's word at the desk.

The tower cut-through drawing for T1 and T2 lists the levels in order. First the 16th floor. Then, in red, "FFL +61900mm 17th FLOOR LVL / TOS +61850mm Refuge Floor". Then the 18th floor. The same drawing carries a second refuge level higher up, at FFL +92,500 / TOS +92,450. That is the 26th, with the 25th below it and the 27th above. So there are two levels in these two towers to think about, not one. The flats on either side sit 3,400 mm apart, one floor to the next.

What that means for the flat itself is on the refuge floor drawing for the same two towers. It draws a refuge area shaded in red, 10,050 by 3,000, which is about ten metres by three metres. It sits at the same level as the flats, with a railing along its outer side. It runs right up against the edge of one flat's living-cum-dining room, its second toilet and its balcony. So a flat on that level is not merely near a refuge area. Its main room and the edge of its balcony sit right beside a shared deck with a railing, about ten metres by three metres.

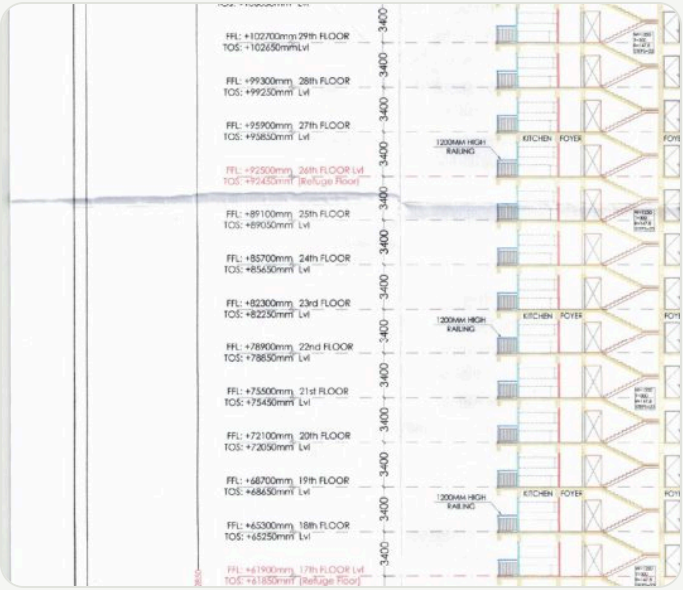
The same drawing also shows you where the flats start. Below the numbered floors it lists the podium at FFL +6,450, the ground floor at +750 with the lobby level at +550, the parking level at +550, and the road outside at 0.00.

So if you are buying in T1 or T2, ask for the 16th or the 18th rather than the 17th, and the 25th or the 27th rather than the 26th. If a flat on a refuge level is the only one available in the tower you want, do not buy it at the same rate as a normal floor in the same tower. Never the same price. Ask which rooms of that exact flat share an edge with the refuge deck, and bring the price down from there, or move a floor.



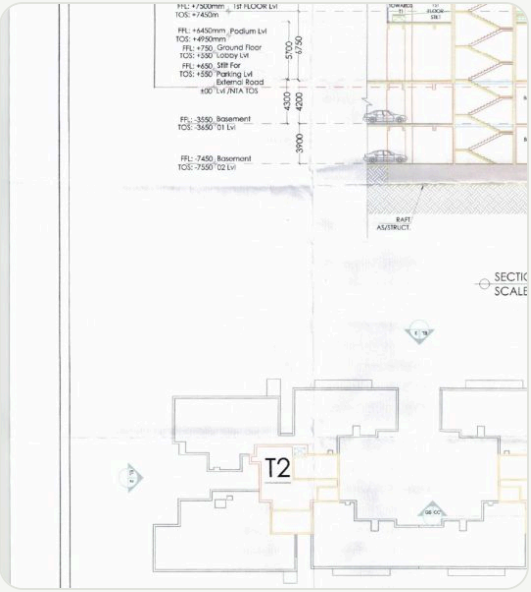
Section CC' places a refuge floor at the 17th floor level, FFL +61900 mm / TOS +61850 mm.

From the sanctioned sheet titled “SECTIONS CC 7 DD TOWER T1 & T2”, copied here exactly as the sheet prints it.



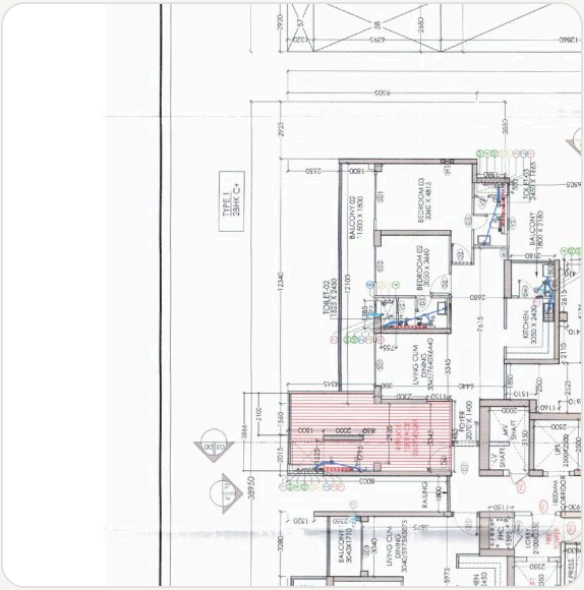
Section CC' places another refuge floor at the 26th floor level, FFL +92500 mm / TOS +92450 mm.

From the sanctioned sheet titled “SECTIONS CC 7 DD TOWER T1 & T2”, copied here exactly as the sheet prints it.



The lower transfer/service zone is shown around podium/ground levels, with Podium Level at FFL +6450 mm / TOS +4950 mm, Ground Floor at FFL +750 mm / TOS +550 mm, Lobby Level at FFL +550 mm, Parking Level at TOS +550 mm, and External Road at +/-0.00 level.

From the sanctioned sheet titled “SECTIONS CC 7 DD TOWER T1 & T2”, copied here exactly as the sheet prints it.



The refuge-floor plate shows a red-hatched refuge area on the T1/T2 residential floor plan, immediately beside labelled apartment room edges.

From the sanctioned sheet titled “REFUGEE FLOOR PLAN & AREA CALCULATION TOWER T1 & T2”, copied here exactly as the sheet prints it.

The section sheet marks the 17th floor as a Refuge Floor between the 16th and 18th floors.

From the sanctioned sheet titled “SECTIONS CC 7 DD TOWER T1 & T2”, copied here exactly as the sheet prints it.

WHAT NOT TO PAY FOR

The top floor is not the same buy in every tower here

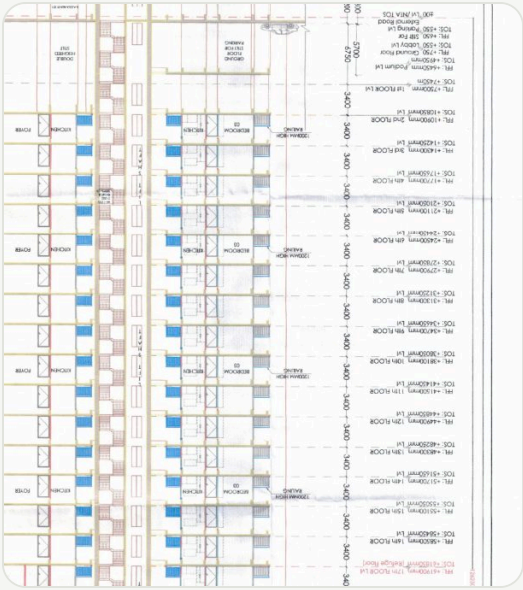
Everybody sells the top floor as the best flat in the building. On these drawings it depends completely on which tower it is, and on what the builder has put on the slab above your ceiling.

T5 and T6, the two towers this report sends you to. The cut-through drawing gives the last floor of flats as the 32nd floor, at FFL +112,900, with the terrace 3,350 mm above it at +116,250. Drawn on that terrace, right over the top flats, are the water tanks for fire fighting and for the home supply, and closed rooms for the stairs, the lifts and the services at both groups of lifts and stairs. That is water and lift machinery over somebody's ceiling. In practice that means a risk of leakage, and repair men coming and going above you. It is fair to ask for a lower price for that, and it is a fair reason to prefer the floor below the top rather than the top floor itself.

The roof over these two towers is also not one flat lid. The terrace plan draws T5 and T6 as two separate roofs with a large area between them marked OPEN TO SKY. The terrace edge steps in and out around the wings, the shafts and the lifts and stairs, instead of running as one clean rectangle. Small pockets for services and machines are set into it. So two top-floor flats in T5 and T6 that look the same on a price list are not the same. One may sit under a roof edge that steps back, with machines beside it, and the next one may not. If they ask extra money for a top floor in either tower, ask for the terrace plan and have your flat's position marked on it before you agree the number.

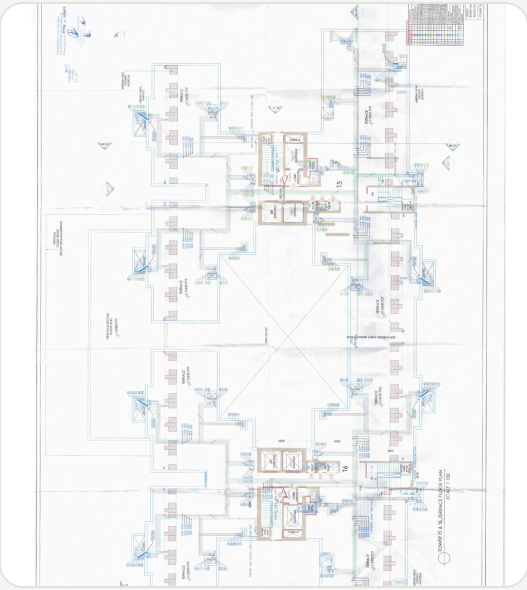
The height from one floor to the next is the same. Through the normal upper floors, the T5 and T6 cut-through drawing repeats 3,400 mm from one floor to the next, again and again. What these drawings do not carry is a separate figure for the clear height from your floor to your ceiling. No finished ceiling height is written anywhere. So if anybody quotes you a ceiling height as a selling point, ask which drawing it is written on.

T1 and T2: what sits above the top flat there. The roof plan for these two towers marks a MACHINE ROOM AND OHT ROOF LEVEL at +12,000, with the roof areas around it marked TERRACE at +11,300, a little lower. OHT means the overhead water tank. In simple words: the lift machinery and the overhead water tanks sit in a closed room in the middle of that roof, with terrace around it. Nothing on that sheet is marked solar, photovoltaic, telecom or antenna. So a claim about a solar roof, or a roof deck with facilities on it, for these towers is not supported by the drawing they would show you. It should not carry a price.



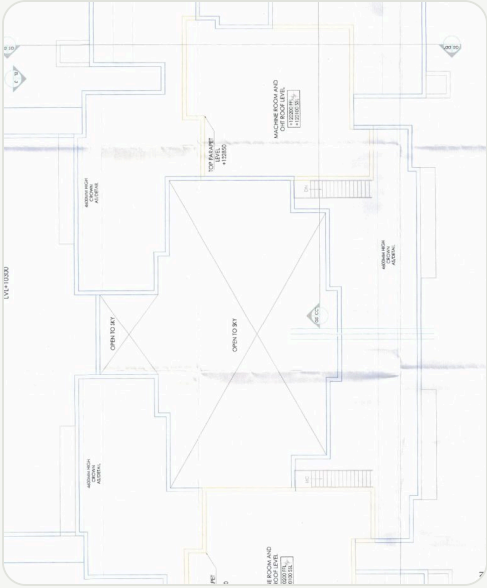
Above the 32nd FLOOR label the next section level is marked Terrace, with a 3350 dimension up from the 32nd-floor band.

From the sanctioned sheet titled “SECTIONS BB & AA T5 & T6”, copied here exactly as the sheet prints it.



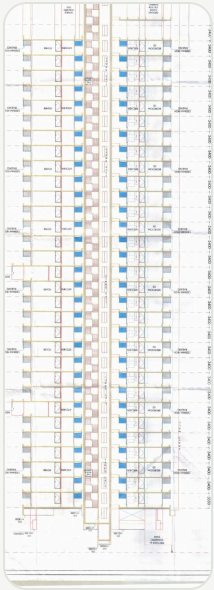
The terrace roof outline is stepped/set back around the tower wings rather than rectangular or uniform.

From the sanctioned sheet titled “TERRACE PLAN TOWER T5 & T6”, copied here exactly as the sheet prints it.



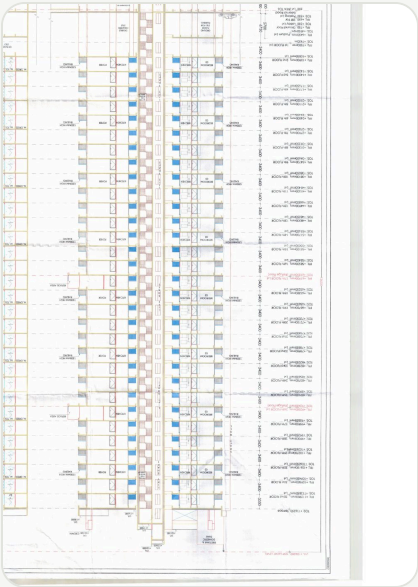
Both tower roof plans show roof-level machine room and overhead tank rooms as plant areas.

From the sanctioned sheet titled “ROOF PLAN TOWER T1 & T2”, copied here exactly as the sheet prints it.



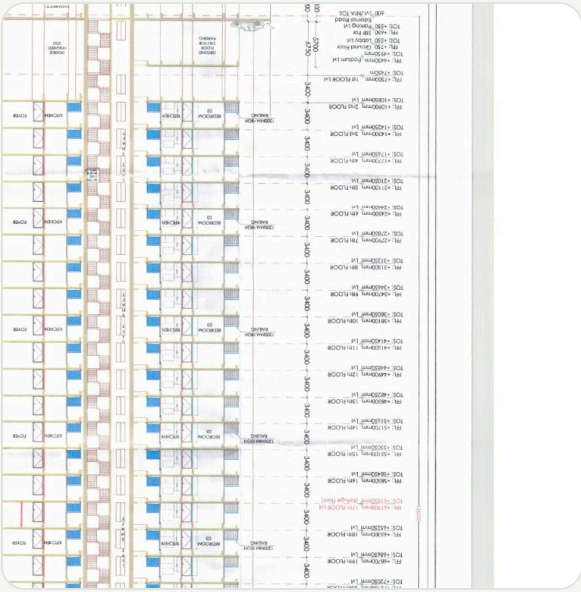
The visible T5/T6 section level stack shows a repeated 3400 mm floor-to-floor dimension through the typical upper-floor bands.

From the sanctioned sheet titled “SECTIONS BB & AA T5 & T6”, copied here exactly as the sheet prints it.



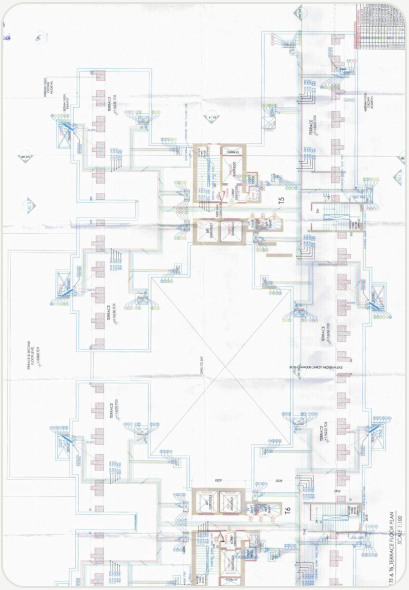
The supplied S14 images do not visibly provide a separate clear floor-to-ceiling height callout.

From the sanctioned sheet titled “SECTIONS BB & AA T5 & T6”, copied here exactly as the sheet prints it.



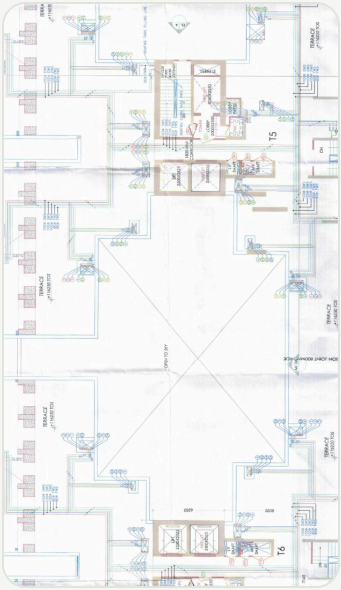
The roof/terrace zone above the topmost numbered floor contains roof plant drawn above the 32nd-floor band, including a labelled fire and domestic tank.

From the sanctioned sheet titled “SECTIONS BB & AA T5 & T6”, copied here exactly as the sheet prints it.



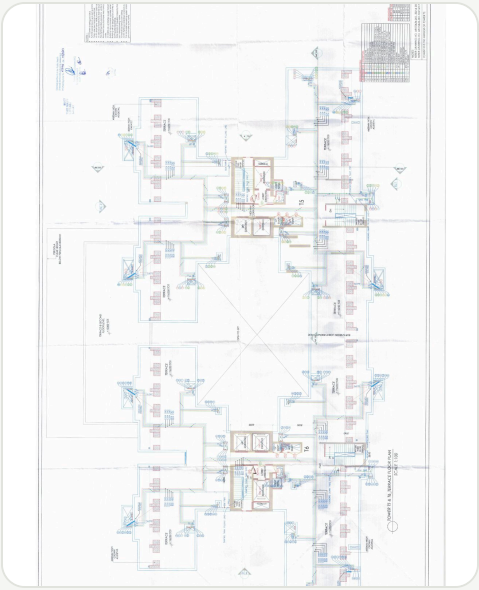
T5 and T6 are drawn as two separate terrace/roof footprints, not as one continuous uniform roof slab across both towers.

From the sanctioned sheet titled “TERRACE PLAN TOWER T5 & T6”, copied here exactly as the sheet prints it.



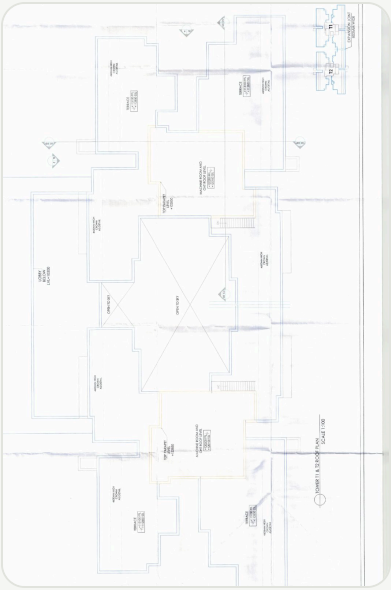
Both tower cores include enclosed stair/lift/service blocks rising within the terrace plan.

From the sanctioned sheet titled “TERRACE PLAN TOWER T5 & T6”, copied here exactly as the sheet prints it.



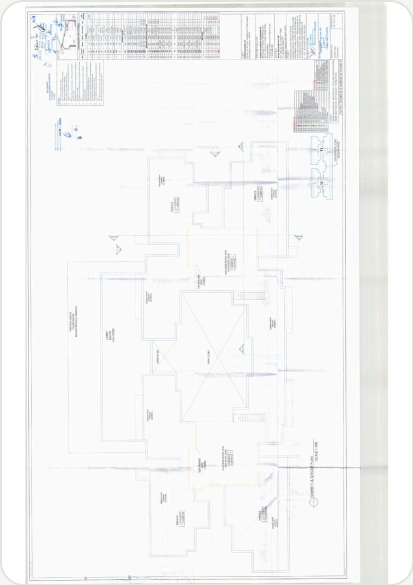
Small service/equipment pockets and pipe/utility runs are drawn around the terrace edges and core-adjacent areas.

From the sanctioned sheet titled “TERRACE PLAN TOWER T5 & T6”, copied here exactly as the sheet prints it.



Multiple surrounding roof areas are labeled as terrace at a lower roof level than the machine room/OHT rooms.

From the sanctioned sheet titled “ROOF PLAN TOWER T1 & T2”, copied here exactly as the sheet prints it.



No solar plant or telecom plant label is visible on the admitted roof plan sheet.

From the sanctioned sheet titled “ROOF PLAN TOWER T1 & T2”, copied here exactly as the sheet prints it.

Where the cars and the fire engines go, and which flats sit beside that

This is a decision about the ground level, and it is a different question from how high up you buy. Two things run around this site permanently, and the drawings show both.

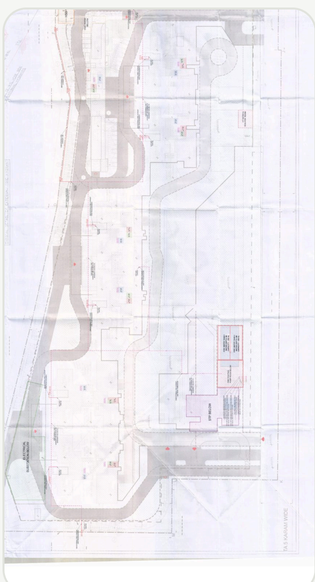
The fire engine road is a hard paved loop, and it never goes away. The fire fighting drawing shows a wide grey hard paved driveway coming in from the road edge at the lower right, near the label TATA 5 KARAM WIDE. It then runs along the lower edge of the site, up the left edge, through the middle of the site and around the upper right edge. It also branches inward. A U-shaped road inside the project loops between the buildings, so it reaches the inner towers too. Red hydrant symbols are drawn at points all along that route, and the key on the drawing names them EXTERNAL FIRE HYDRANT and EXTERNAL FIRE HYDRANT LINE.

The good news first, because it is real. Every tower here, including the inner ones, has a fire engine path drawn up to it. That is what you want to see. What it means for you is narrower. A fire engine route has to stay clear and hard paved for the whole life of the building. Nobody can plant on it, park on it or turn it into lawn later. So a flat on a low floor whose windows look down at that grey band is looking at a permanent driveway, not at a garden that will grow softer with time. If you are taking a low flat on the lower edge, the left edge, the middle of the site or the upper right edge, that is what is under your window. It should be cheaper than the same flat facing inward over plants. Do not let anybody show you a picture of a garden for that side.

Under T3 and T4 there are two basement levels. Section EE and Section FF both draw BASEMENT 01 and BASEMENT 02 under these towers, below the level of the road outside. Section FF also shows the podium sitting above a ground and stilt parking level with cars drawn at that lower level. It does not show the podium sitting at the level of the ground around it.

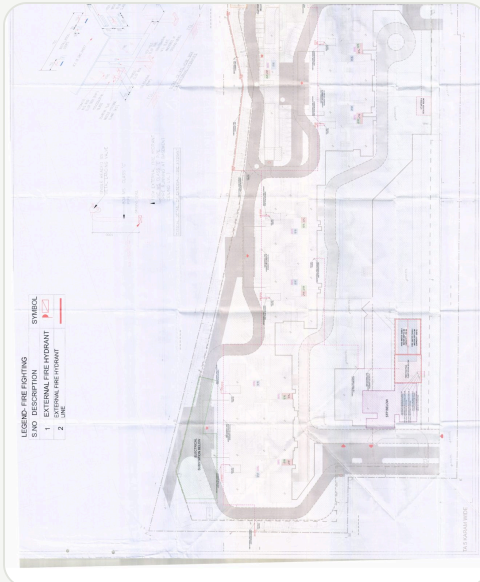
Here is what that gives you and what it costs you. Your car goes two levels down, and your lift ride starts two levels below the street. So in T3 or T4 the walk from car to home is a walk through the basement to the lift, not a step from your door. If there is a choice, ask for your parking space on Basement 01 rather than Basement 02. Get the level written into the agreement along with the parking space number. "Covered parking" without a level is not a promise. Two basements in Gurugram also means the pumping arrangement matters. Ask in writing what happens to those two levels in heavy monsoon rain. Go and look at the mouths of the ramps after rain if you can.

Neither of these is a reason to walk away. Both are reasons to be exact. A low flat facing inward over plants is worth more than one over the fire engine road. A parking space on Basement 01 is worth more than one on Basement 02. Price them that way, and do not accept the same price for both.



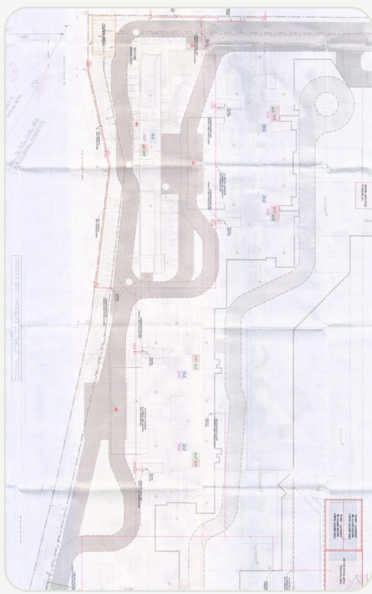
The fire-tender access is drawn as a continuous grey hard-standing driveway entering from the lower/right road edge and running around the lower site edge, left perimeter, central spine, and upper/right perimeter.

From the sanctioned sheet titled “SITE PLAN FIRE FIGHTING LAYOUT PLAN”, copied here exactly as the sheet prints it.



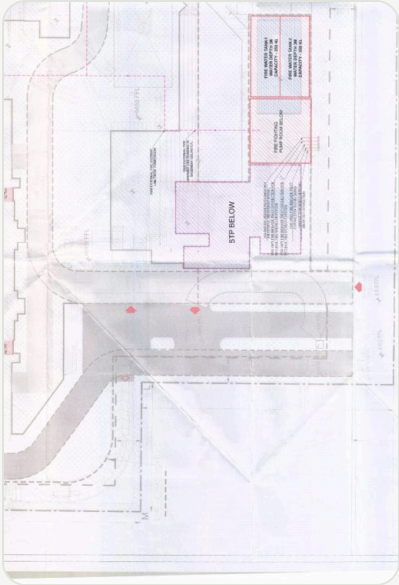
External hydrant points are shown repeatedly along the tender route, including the lower driveway, central/internal driveway, and upper/right perimeter run.

From the sanctioned sheet titled “SITE PLAN FIRE FIGHTING LAYOUT PLAN”, copied here exactly as the sheet prints it.



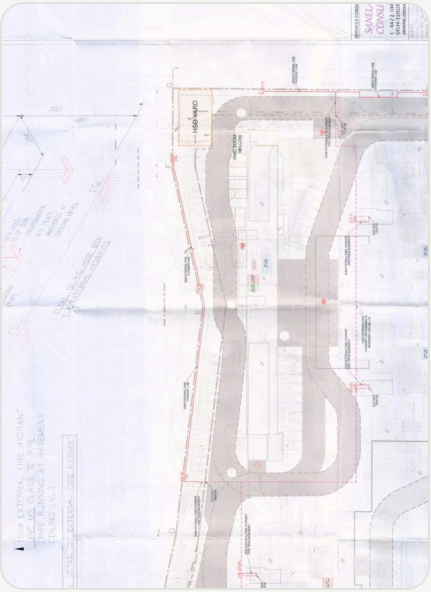
The access path also reaches the innermost tower blocks through an internal grey U-shaped/looping driveway between the building footprints.

From the sanctioned sheet titled “SITE PLAN FIRE FIGHTING LAYOUT PLAN”, copied here exactly as the sheet prints it.



A static water tank and pump-room cluster is placed beside the lower/right access road near the site edge.

From the sanctioned sheet titled “SITE PLAN FIRE FIGHTING LAYOUT PLAN”, copied here exactly as the sheet prints it.



The drawing visibly marks a 6000-wide driveway segment along the tender-access network.

From the sanctioned sheet titled “SITE PLAN FIRE FIGHTING LAYOUT PLAN”, copied here exactly as the sheet prints it.

HOW THIS REPORT WAS MADE

This report was built by reading GODREJ ARISTOCRAT's sanctioned architectural drawings — the same approved sheets the promoter filed with the authority — alongside the project's RERA registration record and its quarterly filings. 69 of the project's sanctioned sheets were read, and 132 of them are printed here as crops, each under the sheet's own title so you can ask for it by name at the sales office.

Each material factual statement here was checked against the drawing or filing it cites, by a second reader that can only delete. Interpretations are marked as questions to ask or comparisons to make, not as findings. That check confirms the words are on the approved sheet. It does not confirm the building will be built that way, and Quietlist does not independently verify the promoter's filing or the conditions on site.

Quietlist receives no commission from the promoter, the seller or any broker, and does not arrange the transaction.

Sources as at: current regulator status read 23 August 2026; register read 2026-08-01; quarterly filings read 2026-07-06.

TERMS

This report was prepared for one buyer and one project. Share it with your family, your lawyer or your bank as you like; it is not for republication or resale.

It is a reading of the promoter's sanctioned drawings and the public register as they stood on the dates above. It is not legal, financial or investment advice, not a valuation, and not a structural or site survey. A drawing shows what was approved. A filing shows what somebody filed, on a date. Neither is a promise about what will be built.

If something here is wrong, write to hello@quietlist.in with what you were shown and I will re-check the sheet and send you a corrected report. Where a correction cannot put it right, my total liability for this report, on any basis, is limited to the fee you paid for it.

We read the approved drawings
so you don’t have to.

quietlist